



TOWN OF CORTLANDT

ZONING BOARD OF APPEALS

Town Hall, 1 Heady Street
Cortlandt Manor, NY 10567
914-734-1080

Michael Fleming
Chairman

Wai Man Chin
Vice-Chairman

Chris Beloff
Frank Franco
Michelle Piccolo Hill
Benito Martinez
Thomas Walsh

Town Supervisor
Richard H. Becker, MD

Town Board
James F. Creighton
Cristin Jacoby
Robert Mayes
Joyce C. White

TO JOIN THE MEETING REMOTELY USE THE ZOOM LINK BELOW:

<https://us02web.zoom.us/j/83982743855?pwd=Kw8ZAHsTsNOYGzil29bjFUaiXskeMd.1>

AGENDA.....ZONING BOARD OF APPEALS
Town Hall – 1 Heady Street
Cortlandt Manor, NY 10567

Work Session – Thursday, March 27, 2025 at 6:30 PM

1. Discuss Agenda for the Regular Meeting

Regular Meeting – Thursday, March 27, 2025 at 7:00 PM *

1. Pledge to the Flag and Roll Call
2. Adoption of the Meeting Minutes for January 16 and February 27, 2025

3. ADJOURNED PUBLIC HEARING

A. Case No. 2025-1 Application of Kathryn Breidenbach, on behalf of 163 Locust Avenue, LLC, for area variances for a proposed roof over a porch and an addition to the existing residence located at 163 Locust Avenue.

4. NEW PUBLIC HEARINGS

A. Case No. 2025-3 Application of Ralph and Julia Amato, for property owned by Edward and Christina McLaughlin, for an area variance for a front yard setback for an existing gazebo and a rear yard setback for an existing enclosed rear porch and stair for property located at 2234 Maple Ave.

B. Case No. 2025-4 Robert J. Keeler, R.A., on behalf of Jason & Lisa Gotay, for an area variance for maximum area of accessory structures and for a side yard setback for an existing shed for property located at 12 Frances Dr.

C. Case No. 2025-5 Application of 77 Montrose Station, LLC for area variances for an accessory structure located in the front yard and for detached building height for a proposed garage located at 77 Montrose Station Rd.

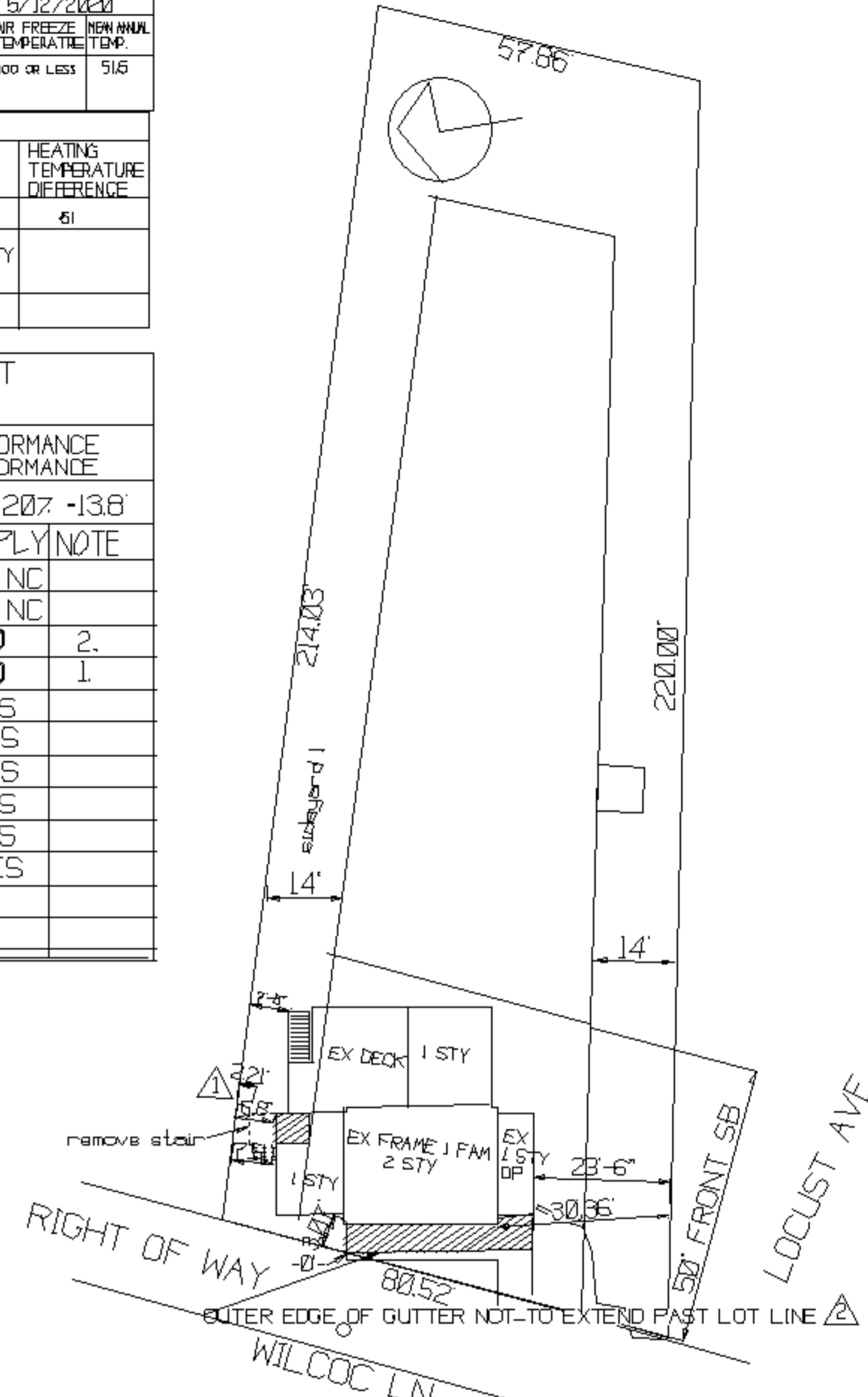
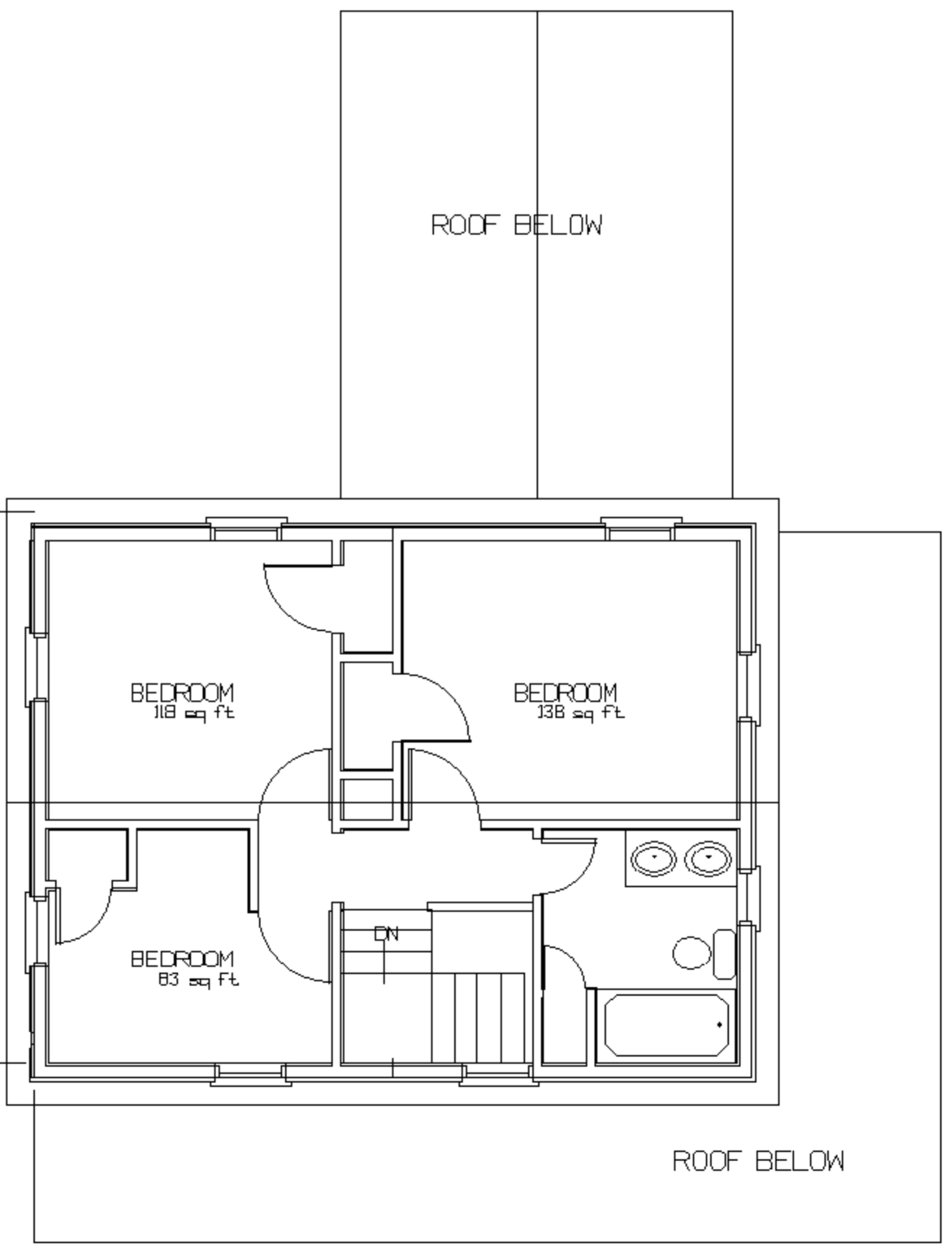
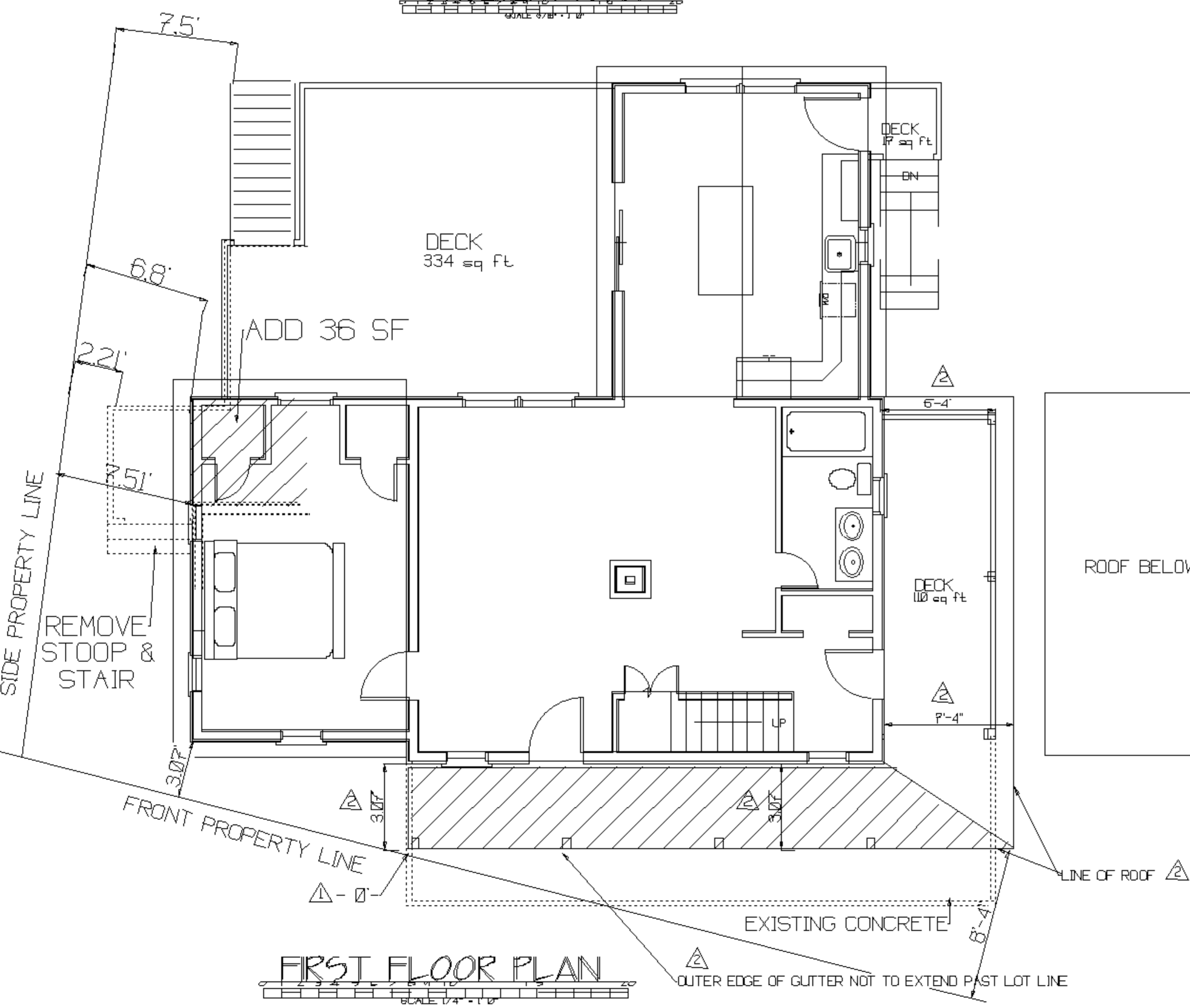
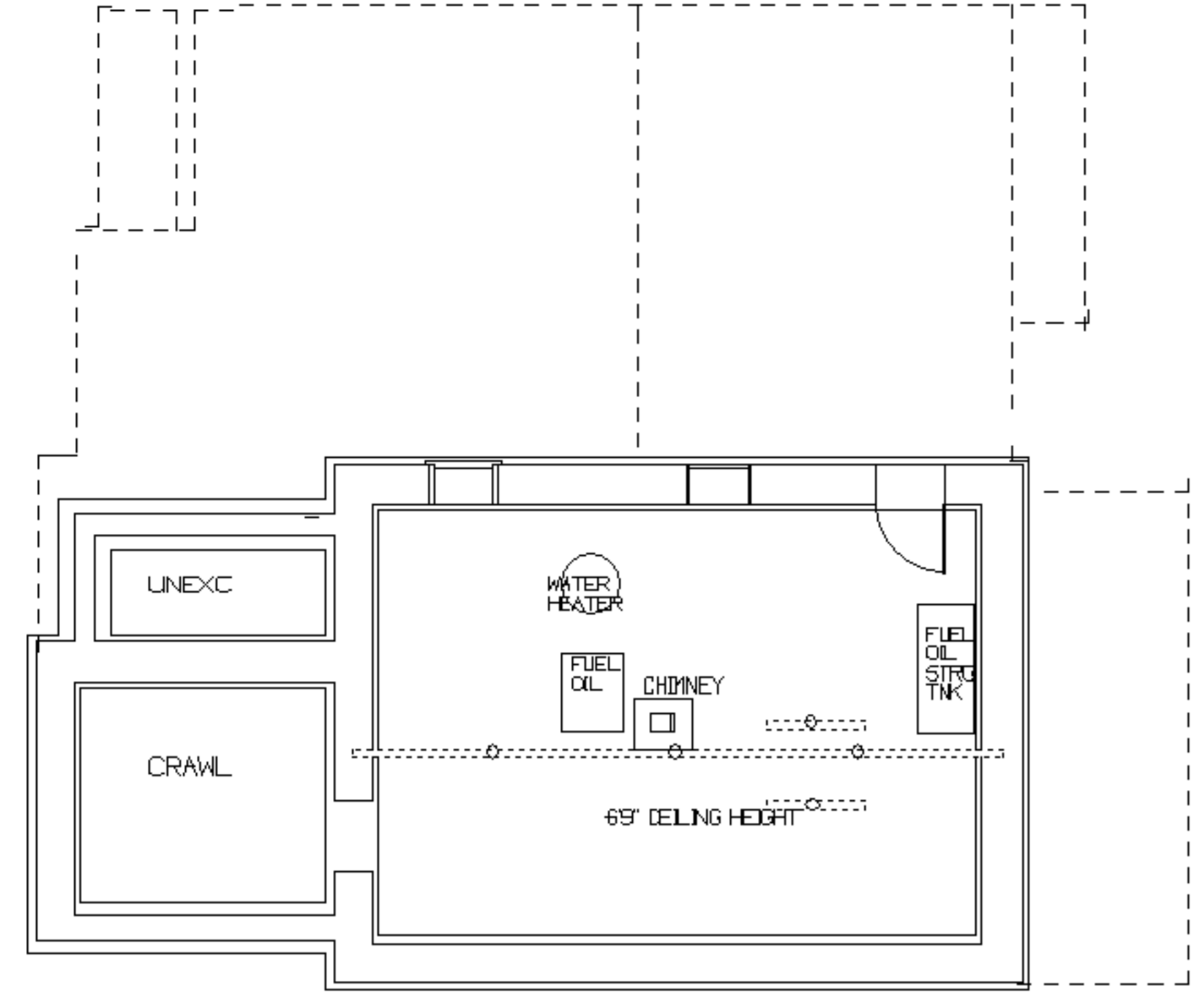
**Regular meeting to begin at conclusion of the work session*

NEXT REGULAR MEETING THURSDAY, APRIL 24, 2025

EXPOSURE CRITERIA										CODE REVIEW NYS 2020 RESIDENTIAL CODE EFFECTIVE 5/12/2020										
GROUND SLOPE	WIND DESIGN CATEGORY	WIND DESIGN WIND SPEED	WIND DESIGN WIND DIRECTION	WIND DESIGN WIND PERIOD	POTENTIAL FOR DAMAGE FROM WIND DESIGN WEATHERING PROTECTIVE TREATMENT	WIND DESIGN WIND PERIOD	WIND DESIGN WIND PERIOD	WIND DESIGN WIND PERIOD	WIND DESIGN WIND PERIOD	WIND DESIGN WIND PERIOD	WIND DESIGN WIND PERIOD	WIND DESIGN WIND PERIOD	WIND DESIGN WIND PERIOD	WIND DESIGN WIND PERIOD	WIND DESIGN WIND PERIOD	WIND DESIGN WIND PERIOD	WIND DESIGN WIND PERIOD	WIND DESIGN WIND PERIOD	WIND DESIGN WIND PERIOD	WIND DESIGN WIND PERIOD
3.0%	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO

MANUAL J DESIGN CRITERIA							
ELEVATION	LATITUDE	WINTER HEATING	SUMMER COOLING	ALTITUDE CORRECTION FACTOR	INTERIOR DESIGN TEMPERATURE	DESIGN TEMPERATURE COOLING	HEATING TEMPERATURE DIFFERENCE
436	41	7	87	1	68	75	61
COOLING TEMPERATURE DIFFERENCE	WIND VELOCITY HEATING	WIND VELOCITY COOLING	CONDENSAT WET BULB	DAILY RANGE	WINTER HUMIDITY	SUMMER HUMIDITY	
12	20.4	7.5	72	M	30	55	

ZONING INFO TOWN CORTLANDT ZONE R-40							
EX - EXISTING PRIOR NON CONFORMING				NOTE 1. DECREASE IN NON CONFORMANCE			
NC - NO PROPOSED CHANGE				NOTE 2. INCREASE IN NON CONFORMANCE			
* AVERAGE LOT WIDTH $80.52' + 57.86' - 138.38/2 = 69.19' \times 207' - 13.8'$							
ITEM	REQUIRED	EXISTING	COMPLY	PROPOSED	COMPLY	NOTE	
LOT SIZE	40,000 SF	14,762 SF	EX. NC	14,762 SF	EX. NC		
LOT WIDTH MN	150 LF	69.19 LF	EX. NC	69.19 LF	EX. NC		
FRONT YARD	50 LF	3.07 LF	EX	0 LF	NO	2.	
SIDE YARD 1	* 14 LF	2.21 LF	EX	6.80 LF	NO	1.	
SIDE YARD 2	* 14 LF	23.50 LF	YES	23.50 LF	YES		
REAR YARD	30 LF	166 LF	YES	166 LF	YES		
MAX HEIGHT	2.5 S. 35 LF	2 S	YES	2 S	YES		
MAX FLR SF	3,412 SF	1,458 SF	YES	1,494 SF	YES		
MAX COVER %	2,139 SF	1,909 SF	YES	1,909 SF	YES		
MIN LNDSCP %	7,381 SF	10,000 SF	YES	10,000 SF	YES		
REQ PARKING							



NOTE: PLOT PLAN INFO TAKEN IN PART FROM SURVEY PROVIDED BY THE OWNER SURVEY BY ROWAN LAND SURVEYING/LLC DATED 10/2/2023

IT IS A VIOLATION OF THE LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL TO ALTER ANY ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED THE ALTERING LICENSED PROFESSIONAL SHALL AFFIX TO THE ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

REVISION DATE	COMMENTS	BY
9/18/2025	BOARD COMMENTS	JL
8/31/24	comments	

CLIENT: BREIDENBACH RUSSO RESIDENCE
LOCATION: 163 LOCUST STREET, CORTLANDT MANOR, NY 10567
23.12-1-6, R-40 ZONE, 14,762 SF
DRAWING DATE: 9/5/2022 BY: JL/ark
ALTERATION AND ADDITION PLAN

JOHN A. LENTINI ARCHITECT
124 ALLAN STREET, CORTLANDT MANOR, NY 10567-1614
PHONE: (914) 737-2890
EMAIL: PENCILBASE@aol.com
SEAL & SIGNATURE: [Signature]
DRAWING NUMBER: 04223

SEAL OF JOHN A. LENTINI ARCHITECT
LICENSED ARCHITECT
NO. 023755
STATE OF NEW YORK

SHEET A-1 OF A-23-953
EXPIRES 03/31/2026
ZBA-25-1



RIGHT SIDE ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION



FRONT ELEVATION

IT IS A VIOLATION OF THE LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL TO ALTER ANY ITEM IN ANY WAY IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED THE ALTERING LICENSED PROFESSIONAL SHALL AFFIX TO THE ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

3/8/2025 BOARD COMMENTS

CLIENT: BREIDENBACH RUSSO RESIDENCE
 LOCATION: 163 LOCUST STREET
 CORTLANDT MANOR, NY 10567
 23.12-1-6, R-40 ZONE, 14,762 SF

DRAWING DATE: 5/5/2022 BY: JL/gk
 ALTERATION AND ADDITION PLAN

JOHN A. LENTINI
 ARCHITECT
 124 ALLAN STREET
 CORTLANDT MANOR, NY 10567-1614
 PHONE (914) 737-2890

EMAIL: PENCILBASE@AOL.COM
 SEAL & SIGNATURE: [Signature]
 DRAWING NUMBER: 04223

REGISTERED ARCHITECT
 JOHN ANTHONY LENTINI
 023755
 EXPIRES 03/31/2026
 SHEET OF: A-2
 A-23-953
 ZBA-25-1

ZONING BOARD OF APPEALS FACT SHEET

ZBA Member Assigned: Benito Martinez

CASE NO.: 2025-3

Name of Applicant: Ralph and Julia Amato for property owned by Edward and Christina McLaughlin
Owner: Edward and Christina McLaughlin
Address of property: 2234 Maple Avenue
Section, Block, Lot: 44.8-4-15
Prior ZBA Case No.: 43-90
Zone: R-40
Lot Size: 0.390-acre (±16,988 sq. ft.)

Request: Area variances from §307-17 Table of Dimensional Regulations to legalize an existing gazebo extension to the front porch, and an enclosed rear porch and stair:

- Front Yard Setback for existing gazebo extension to the front porch: 50’ required, 45.2’ existing (variance of 4.8’ requested).
- Rear Yard Setback for existing enclosed rear porch and stair: 30’ required, 11.1’ existing (variance of 18.9’ requested).

Staff Comments: The Code Enforcement office received a building permit application on January 8, 2025 to legalize the existing gazebo attached to the front porch, and the existing enclosed porch and stair behind the house located at 2234 Maple Avenue, and issued a denial letter on February 14, 2025. As per the code, the existing structures encroach into the front and rear yard setbacks.

Variance(s) Requested: A front yard setback variance for the gazebo extension to the front porch, and a rear yard setback variance for the enclosed porch/stair.

	<u>REQUIRED</u>	<u>PROPOSED</u>	<u>VARIANCE</u>	<u>%</u>
Min. Front Yard Setback	50 ft.	45.2 ft.	4.8 sq. ft.	10%
Min. Rear Yard Setback	30 ft.	11.1 ft.	18.9 ft.	63%

SEQR: TYPE II – No further compliance required



TOWN OF CORTLANDT
DEPARTMENT OF TECHNICAL SERVICES
CODE ENFORCEMENT DIVISION

Michael Preziosi, P.E.
Director – D.O.T.S

Martin G. Rogers, P.E.
*Director of Code
Enforcement / D.O.T.S.*

Holly Haight
*Assistant Director of Code
Enforcement / D.O.T.S.*

Town Hall, 1 Heady Street
Cortlandt Manor, NY 10567
Main #: 914-734-1010
Fax #: 914-293-0991

Town Supervisor
Richard H. Becker

Town Board
James F. Creighton
Cristin Jacoby
Robert E. Mayes
Joyce C. White

Thomas Nugent
79 Austin Road
Mahopac, NY 10541

February 14, 2025

Re: Permit Application Amato Residence
2234 Maple Ave
Tax ID 44.8-4-15

Mr. Nugent:

I am in receipt of your Building Permit Application received January 8, 2025 to Legalize three season room and front porch enlargement at the above referenced premises.

I must deny this request under the following of the Town of Cortlandt Zoning Code: 307-17 Table of Dimensional Regulations, Front and Rear Yard Setbacks. The Front Porch extension is not compliant. 50.0' required, 45.2' existing requiring a variance for 4.8'. The Enclosed Rear Porch and Stair is not compliant. 30.0' required, 11.1' existing to the stair requiring a variance for 18.9'. Request for variances from the Code is required.

The Zoning Board of Appeals application shall be completed online. If the application is deemed complete additional instructions will follow and then the project will then be placed on the agenda for the next available Zoning Board of Appeals meeting.

Additional information may be required upon subsequent reviews. Technical comments for the submission may be issued separately. If you have any questions or comments please feel free to contact me by email or at 914-734-1010.

Sincerely,

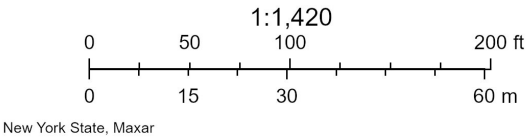
Martin G. Rogers, P.E.
Director of Code Enforcement
Department of Technical Services

Cc: Chris Kehoe, Town Planner

Cortlandt



3/12/2025, 5:43:34 PM



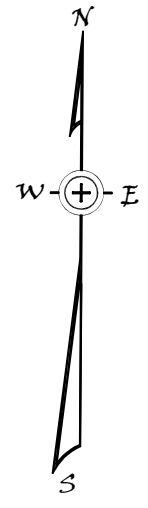


LEGEND

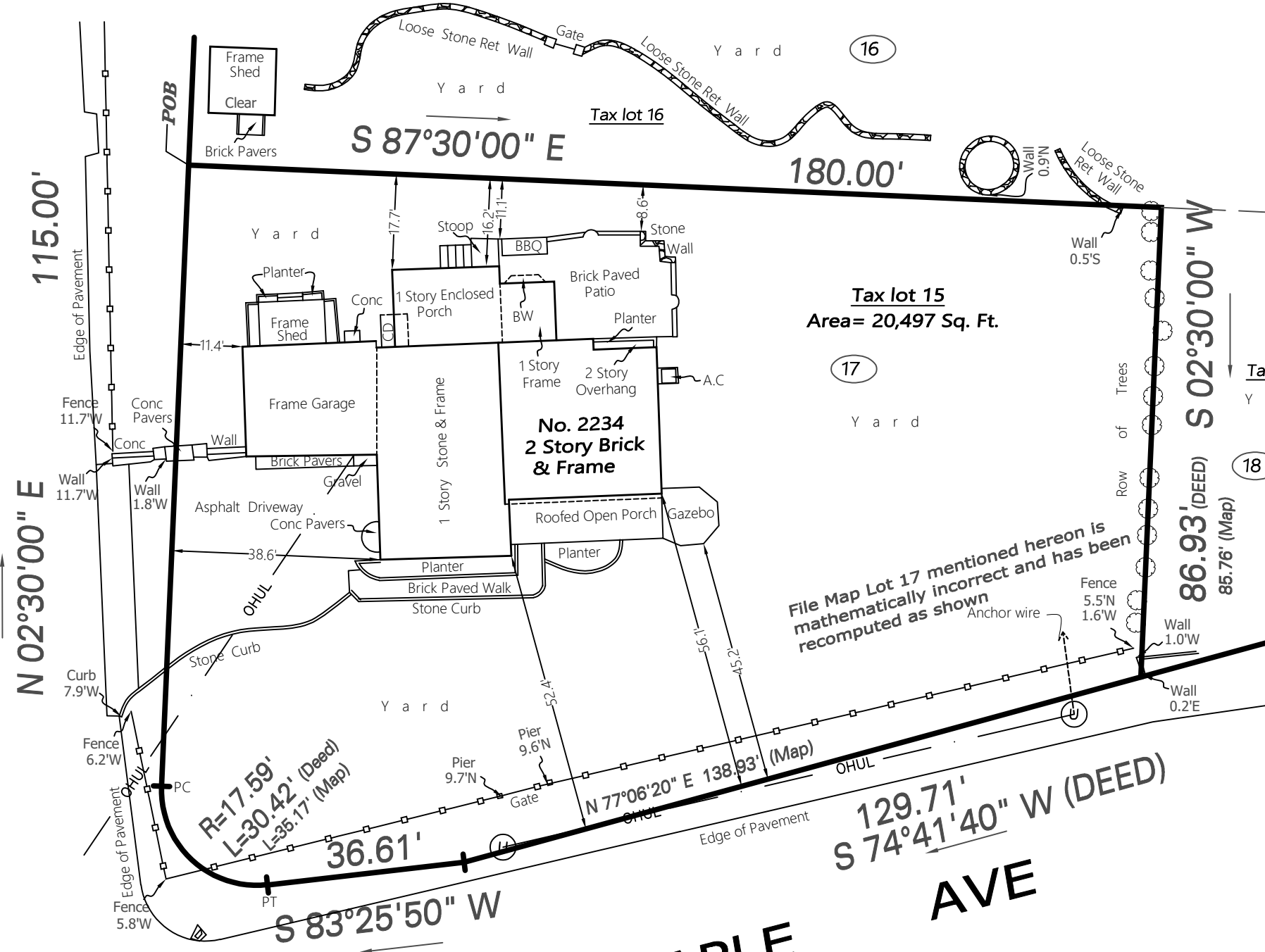
- BW Bay Window
- CONC Concrete
- CD Cellar Door
- OHUL Overhead Utility Lines
- (U) Utility Pole
- (AC) AIR CONDITIONER
- (18") TREE & SIZE
- VINYL FENCE
- PROPERTY LINE
- POB POINT OF BEGINNING
- (17) File Map Lot Number



Original Scale: 1"=25'



HENRY PLACE



Designated as Lot No. 17
 Shown on a map entitled "Section No. 2, Peekskill Heights, Inc."
 Filed in the Westchester County Clerk's Office, Division of
 Land Records, on June 24, 1948 as Map No. 6585

GENERAL NOTES:

- This is to certify that there are no visible streams or natural water courses in this property unless shown on this survey.
- Encroachments, vaults, and easements, if any below surface are not shown hereon.
- This survey is NOT a title survey and is not to be used for title purposes. This surveyor will not be responsible for its use as a title survey.

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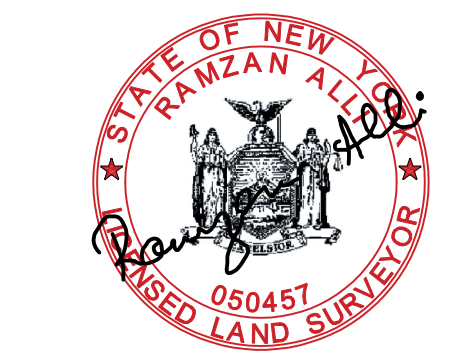
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NOTICE:

Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.

AS-001394W	December 09, 2024	Final Survey
JOB No.	DATE	DESCRIPTION
Property Address: 2234 Maple Avenue Town of Cortlandt County of Westchester State of New York		Tax Designation: District: - Section: 44.8 Block: 4 Lot: 15
Drawn By: HM	Checked By: DWR	

Real Property | Real People | Real Solutions
ALLI SURVEYING P.C.
 77-16 164 Street, Suite 202
 Fresh Meadows, NY 11366
 Tel: 212-732-1393 ~ www.allisurveying.com
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RAMZAN ALLI, LS
 License No. 050457

A copy of this document without a proper application of the surveyor's inked or embossed seal should be assumed to be an unauthorized copy.

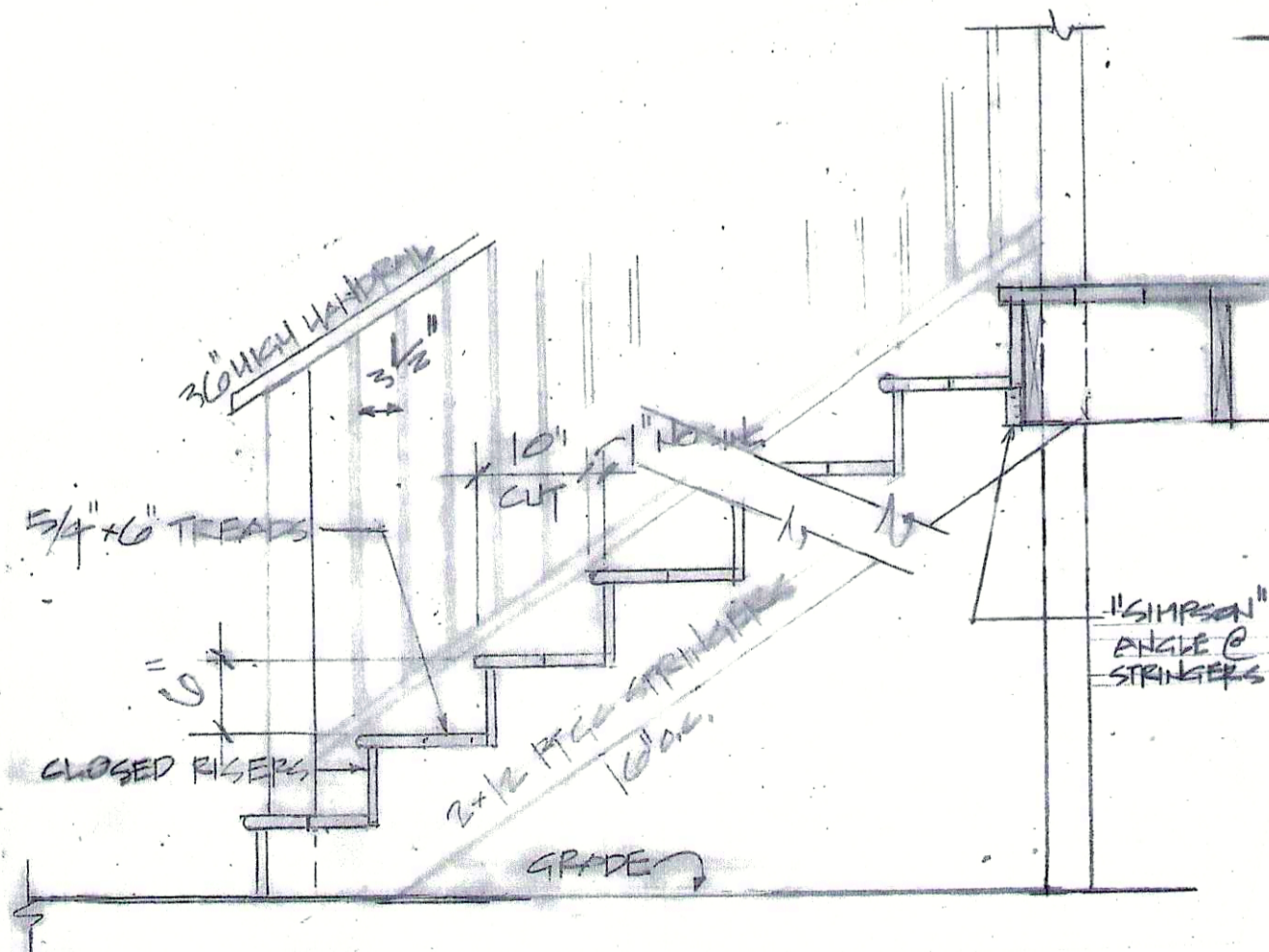
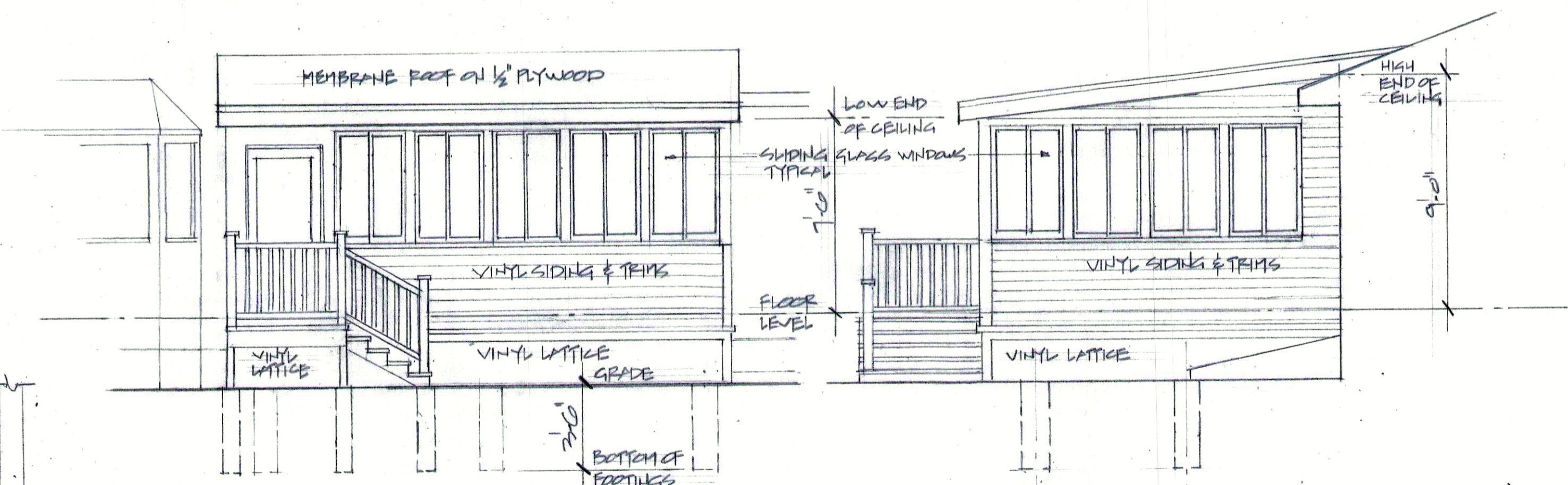
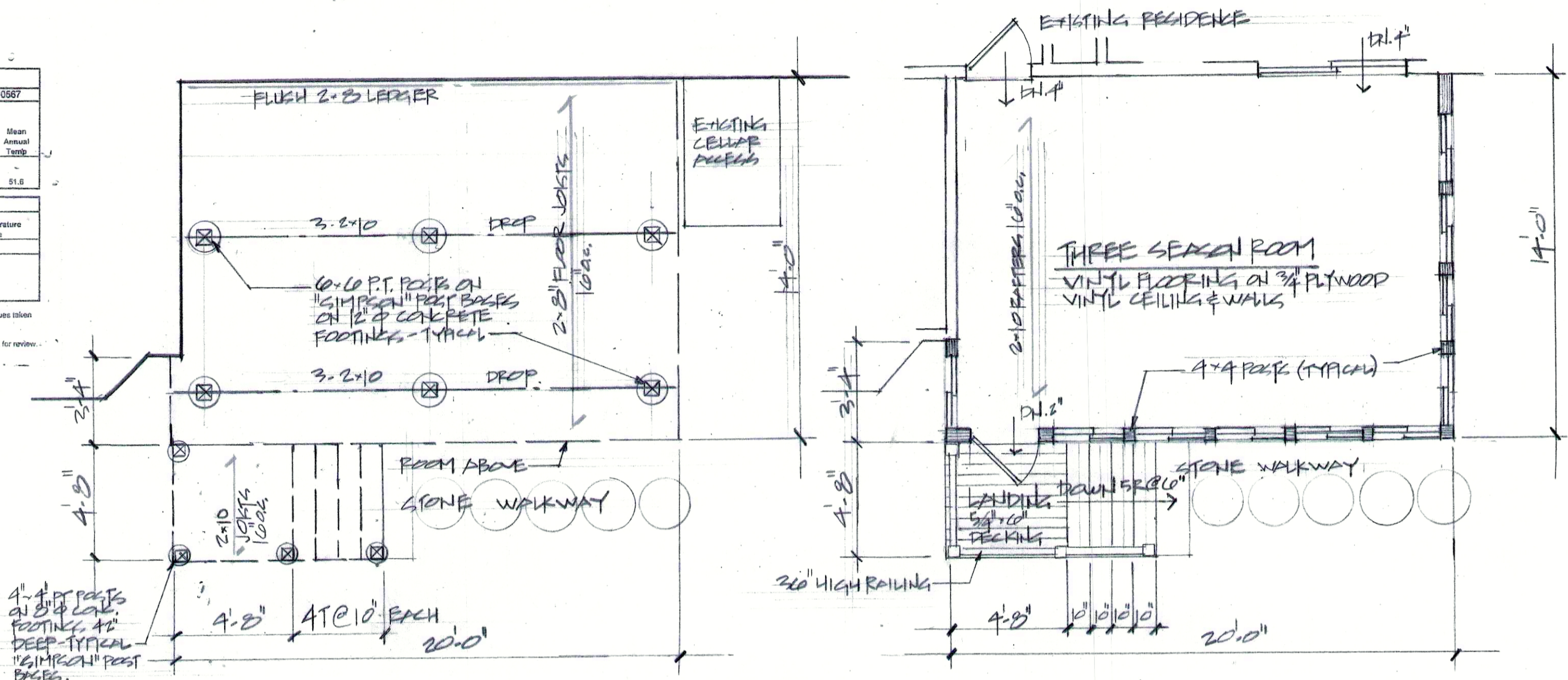
MAPLE AVE

File Map Lot 17 mentioned hereon is mathematically incorrect and has been recomputed as shown

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA (Effective 3/12/2026)													
Location: Town of Cortlandt											Zip Code: 10567		
Wind Design					Subject to Damage From								
Ground Snow Load	Speed (mph)	Topo Effects	Special Wind Region	Wind-borne Debris Zone	Sismic Design Category (RCHY Only)	Weathering	Frost Line Depth	Termites	Winter Design Temp	Ice Barrier Underlayment Req'd	Flood Hazards	Air Freezing Index	Mean Annual Temp
30	Special Wind Region	No	Yes	No	C	Severe	42"	Moderate to Heavy	7	YES	**	1500 or less	51.8
MANUAL J DESIGN CRITERIA													
Elevation	Latitude	Winter heating	Summer cooling	Altitude correction factor	Indoor design temperature	Design temperature cooling	Heating temperature difference						
436	41° 7'	7	87	-1	68	75	61						
Cooling temperature difference	Wind velocity heating	Wind velocity cooling	Coincident wet bulb	Daily range	Winter humidity	Summer humidity							
12	20.4	7.5	72	11	30	55							

* 115 MPH to 120 MPH. The special wind region should serve as a warning to design professionals in evaluating wind loading conditions. Wind speeds higher than the derived values taken from Chapter 16 of the Building Code and Chapter 3 of the Residential Code are likely to occur and should be considered in the design.

** State if applicable. For Flood Hazards the Design Professional shall state if they are applicable, VFN. Verify with FIRM Maps. Maps are available in the Engineering Department for review. If any additional information is required.



NOTE: THE SCOPE OF WORK IS IN ACCORDANCE WITH THE NEW STATE BUILDING CODE IN EFFECT AT THE TIME OF CONSTRUCTION 1988

Note: unauthorized alteration to these plans is not permitted.

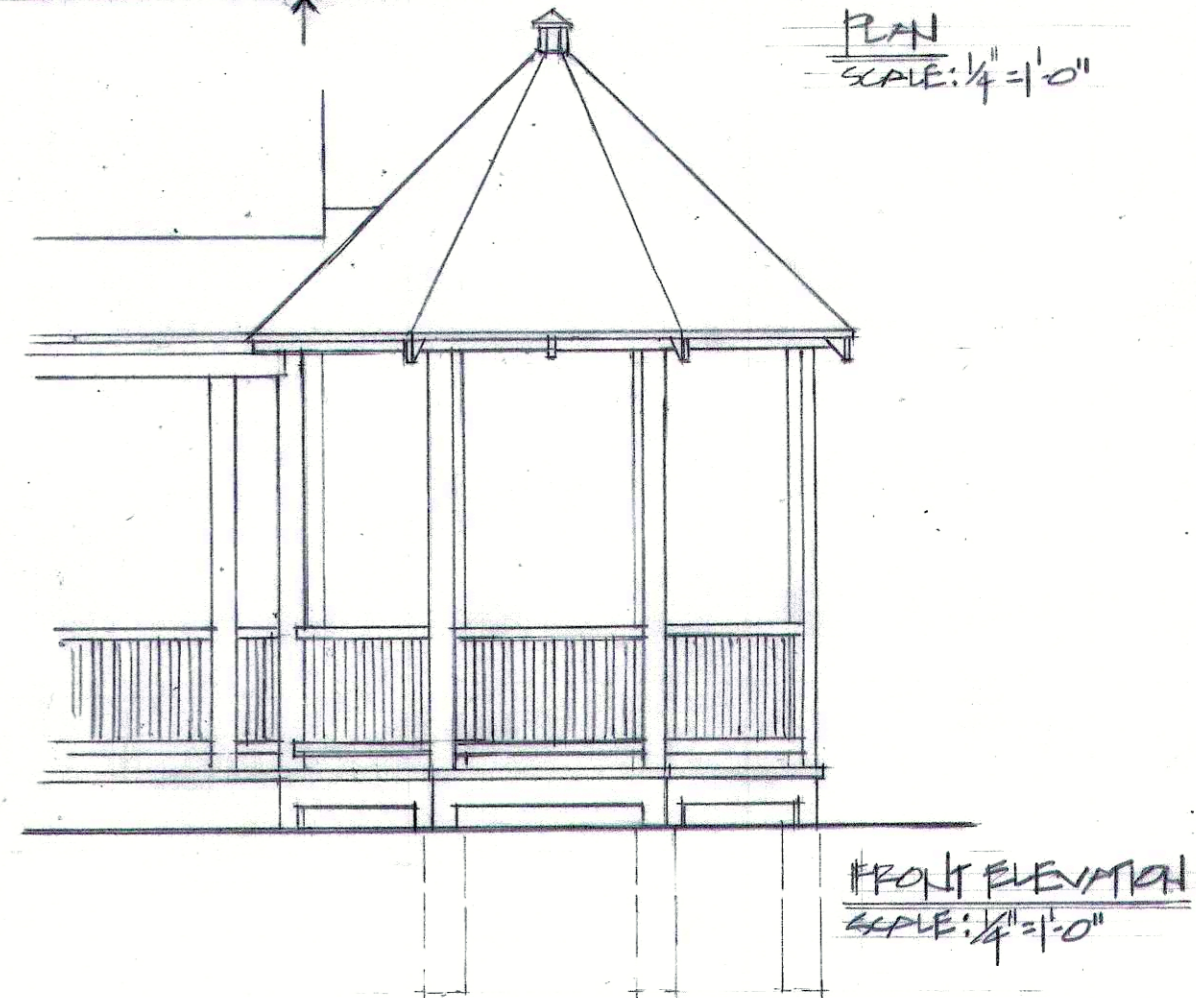
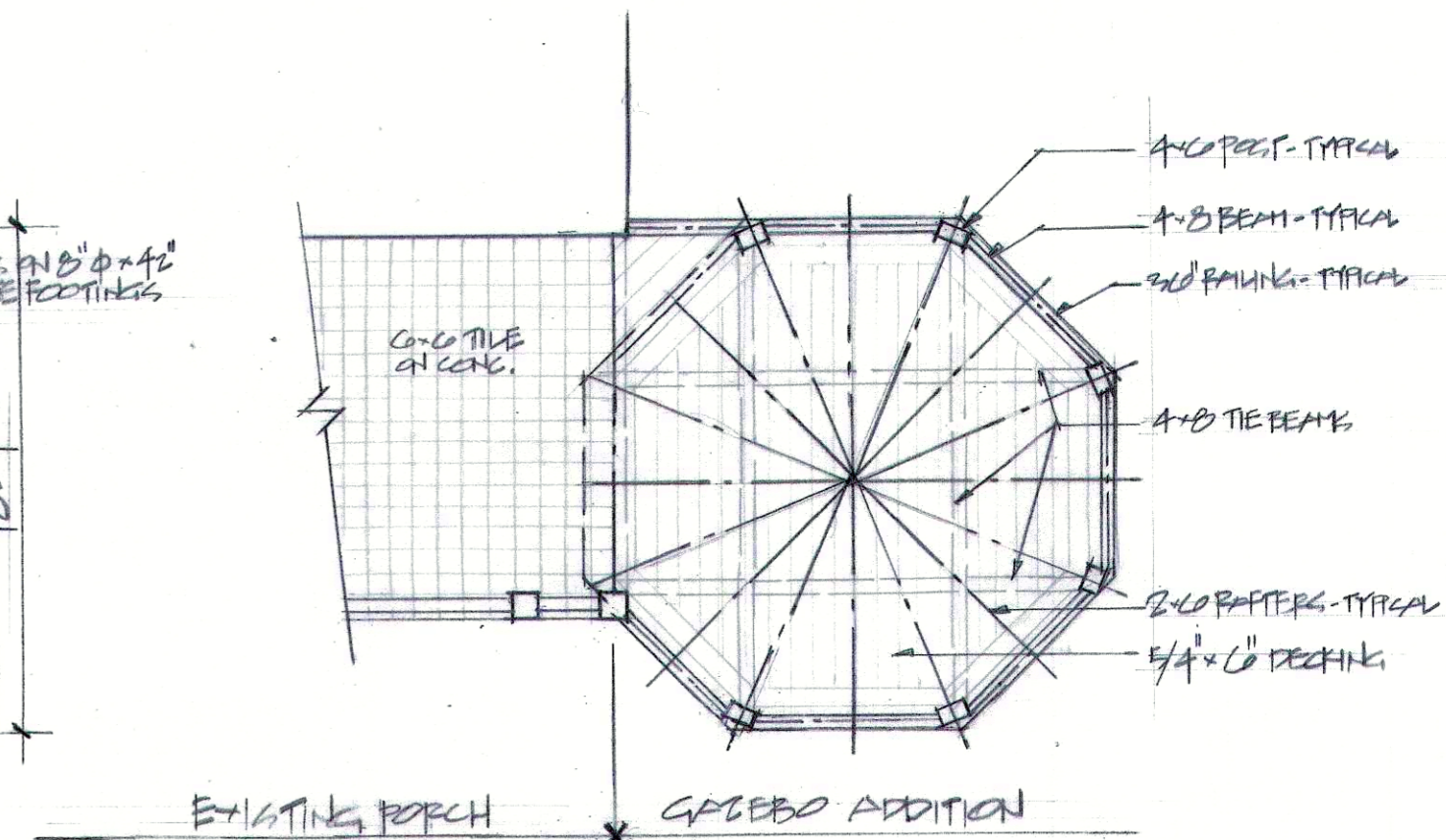
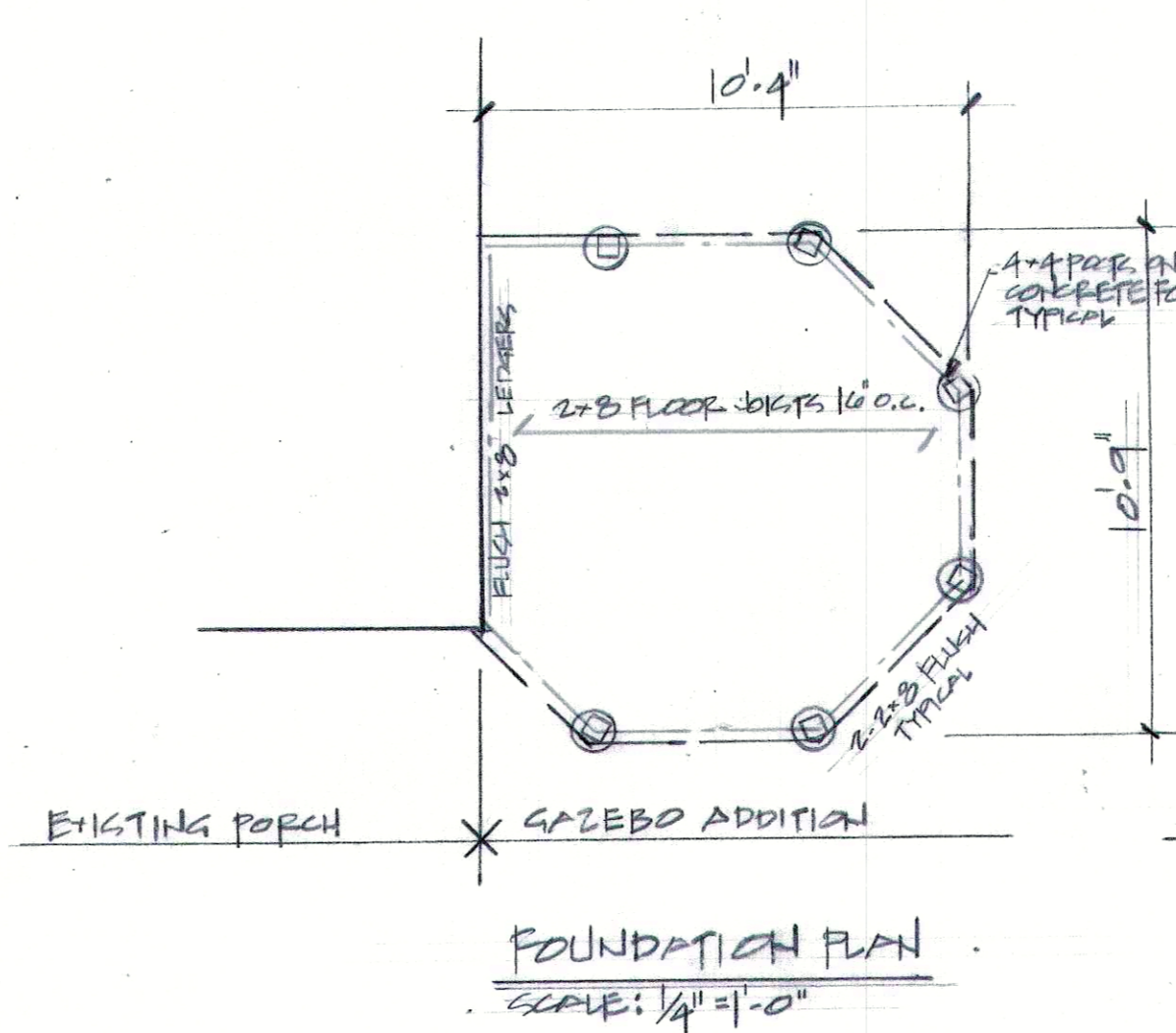


NOTE: NYS LICENSE EXPIRATION DATE: 12-31-20

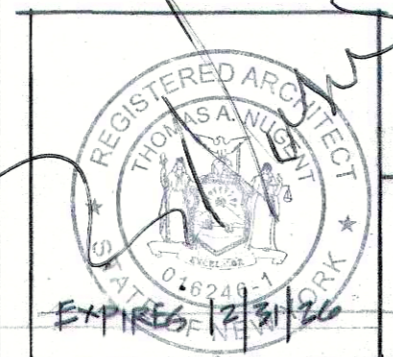
FOR LEGALIZATION 1-2-25	LEGALIZATION OF 3 SEASON ROOM CONSTRUCTION FOR RALPH AMATO 2234 MAPLE AVE., CORTLANDT MANOR, NY	THOMAS A. NUGENT Architect 79 Austin Road Mahopac, NY 10541 (845)-628-7495	DRAWING [OF 1]
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ORIGINAL OPEN PORCH - ENCLOSED					
ZONING TABULATIONS - R-40 ZONE - CORTLANDT MANOR					
	REQUIRED	EXISTING	PROPOSED	VARIANCE NEEDED	REMARKS
FRONT YARD SETBACK	50'		NO CHANGE	NO	
REAR YARD SETBACK	30'	16.2'	NO CHANGE	YES	11.1' TO REAR STOOP 18.9'
SIDE YARD SETBACKS	30'		NO CHANGE	NO	
MIN. LANDSCAPE AREA	MIN. 60%	75.5%	75.5%	NO	
MAXIMUM HEIGHT	35'	12'	NO CHANGE	NO	
MAXIMUM FLOOR AREA	4,200	3,534	3,814	NO	

GAZEBO					
ZONING TABULATIONS - R-40 ZONE - CORTLANDT MANOR					
	REQUIRED	EXISTING	PROPOSED	VARIANCE NEEDED	REMARKS
FRONT YARD SETBACK	50'	45.2'	NO CHANGE	YES	4.8'
REAR YARD SETBACK	30'		NO CHANGE	NO	
SIDE YARD SETBACKS	30'		NO CHANGE	NO	
MIN. LANDSCAPE AREA	MIN. 60%	75.5%	75.5%	NO	
MAXIMUM HEIGHT	35'	13'	NO CHANGE	NO	



It is a violation of the law for any person, unless acting under the direction of a licensed professional, to alter an item in any way. If an item bearing the seal of a licensed professional is altered, the altering licensed professional shall affix to their item their seal and the notation "altered by" followed by their signature and the date of such alteration, and a specific description of the alteration.



2-11-25 2-14-25	LEGALIZATION OF 3 SEASON ROOM & GAZEBO CONSTRUCTION FOR RALPH AMATO 2234 MAPLE AVE. CORTLANDT MANOR, NY	THOMAS A. NUGENT Architect 79 Austin Road Mahopac, NY 10541 (845)-628-7495	DRAWING 2 of 2
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From Wetlands to House with Screened in Porch









To: Ralph Amato

From: Marco Ramirez

Re: 2234 Maple Ave. Cortlandt Manor, NY 10567

Date: February 19, 2025

Dear Ralph,

I hope this letter finds you well. I am writing to express my appreciation for the impeccable maintenance and aesthetic appeal of your house at 2234 Maple Ave. Living next door for these last fourteen years, I have witnessed the care and effort you put into ensuring that your property remains in pristine condition.

Your house has always stood out for its well-manicured lawns, vibrant flower beds, and overall cleanliness that displays your sense of pride and dedication. The attention to detail in every aspect of your home's upkeep is truly commendable.

One of the most striking features that enhances the charm of your property is the beautifully enclosed back porch. It serves as an inviting and cozy extension of your home, blending seamlessly with the surrounding landscape. The porch adds a touch of elegance and sophistication to the entire property.

In addition, the gazebo at the front of the house is an enhancement that further elevates the appeal of your home. Its thoughtful design and placement create a picturesque focal point, offering a space where one can unwind and enjoy the beauty of nature.

Once again, thank you for your outstanding commitment to maintaining such an attractive home. Your hard work and attention to detail are truly appreciated.

Sincerely,

Marco Ramirez

2230 Maple Ave.

Cortlandt Manor, NY 10567

Amato, Ralph Peter

From: Mary Lynn Joyce <ljoyce44@verizon.net>
Sent: Wednesday, February 19, 2025 11:20 AM
To: Amato, Ralph Peter
Subject: [EXTERNAL] The Amato House

Categories: External, Orange Category

This Message Is From an Untrusted Sender

You have not previously corresponded with this sender.

[Report Suspicious](#)

Ralph,

In all of the 30+ years I have lived on Henry Place, your house has always been an attractive, meticulously maintained addition to our small street.

The back porch fits in beautifully with your lawn and backyard and adds a graceful note to the setting. The gazebo is lovely and, in my opinion, adds to the overall attractiveness of your property.

I pass them every day and neither has ever been an eyesore in any way. In fact, your house is and has always been an attractive addition to our street.

Sincerely,
Lynn Joyce
17 Henry Place
Cortlandt Manor

[Sent from the all new AOL app for iOS](#)

2/19/2025

To Whom It May Concern,

I am writing this on behalf of Ralph & Julia Amato who resided at 2234 Maple Ave Cortlandt Manor.

I was told that their existing porch that was screened in and now needs a variance as well as the gazebo which is at the end of there existing front porch. In my opinion this has been a beautiful enhancement to the property. The Amato's kept the house in immaculate aesthetically shape and it compliments the neighborhood. I have absolutely no objections at all.

Best regards,

Jesse Stackhouse

3 Hill and Dale Rd.

Cortlandt Manor NY, 10567

A handwritten signature in cursive script that reads "Jesse Stackhouse". The signature is written in dark ink and is positioned below the typed name and address.

ZONING BOARD OF APPEALS FACT SHEET

ZBA Member Assigned: Franco

CASE NO.: 2025-4

Name of Applicant: Robert J. Keeler, R.A., on behalf of Jason & Lisa Gotay
Owner: Jason & Lisa Gotay
Address of property: 12 Frances Drive
Section, Block, Lot: 54.11-3-36
Prior ZBA Case No.: N/A
Zone: R-15
Lot Size: 0.308-acre (±13,416 sq. ft.)

Request: Area variances from §307-17 Table of Dimensional Regulations:

- Total area of accessory structure shall not exceed 50% of area of the Principal Building: Principal building is 1,414 sf which allows 707 sf of total area of accessory structure. Proposed total area of accessory structures is 1,137 sf, requiring a variance of 430 sf (80.5% of area of principal structure).
- Side Yard Setback for existing shed (“Ex. Shed #2” on plans): 4’ required, 1.6’ proposed (variance of 2.4’).

Staff Comments: The Code Enforcement office received a building permit application on August 14, 2024 for the proposed removal and reconstruction of an existing detached garage at 12 Frances Drive and issued a denial letter on February 21, 2025. As per the code, the total area of all accessory structures shall not exceed 50% of the area of the principal building. The property has multiple pre-existing accessory structures which, combined with the reconstructed garage, have a total area of 1,137 square feet. The applicant’s principal dwelling is 1,414 square feet, allowing a maximum of 707 square feet of accessory structures; the total area of all accessory structures exceeds the amount permitted by 430 square feet.

The pre-existing shed #2 did not require a building permit but is still subject to setbacks. Said shed #2 was constructed 1.6 feet from the side yard property line where a setback of 4 feet is required. A variance of 2.4 feet is requested.

Variance(s) Requested: An area variance for the maximum total area of accessory structures, and an area variance for the side yard setback of one of the accessory structures.

	<u>REQUIRED</u>	<u>PROPOSED</u>	<u>VARIANCE</u>	<u>%</u>
Max. Area Accessory Structures	707 sq. ft.	1,137 sq. ft.	430 sq. ft.	61%
Min. Side Yard Setback	4 ft.	1.6 ft.	2.4 ft.	60%

SEQR: TYPE II – No further compliance required



TOWN OF CORTLANDT
DEPARTMENT OF TECHNICAL SERVICES
CODE ENFORCEMENT DIVISION

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Director – D.O.T.S

Martin G. Rogers, P.E.
*Director of Code
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Holly Haight
*Assistant Director of Code
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Main #: 914-734-1010
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Robert E. Mayes
Joyce C. White

Robert Keeler, R.A.
37 Luigi Rd
Putnam Valley, NY 10579

February 21, 2025

Re: Proposed Garage
12 Frances Drive
Tax ID 54.11-3-36

Mr. Keeler:

I am in receipt of your Building Permit Application A-24-752 received August 14, 2024 for Removal and Reconstruction of an Existing Detached Garage at the above referenced premises.

I must deny this request under the following Section of the Town of Cortlandt Zoning Code:

Section 307-17 Table of Dimensional Regulations, Residential Districts Accessory Structures. 4' Side Yard setback is required. 1.6' is existing for "Shed 2" requiring a variance for 2.4'.

Section 307-17. Accessory Structures total area shall not exceed 50% of the area of the Principal Building. Principal Dwelling = 1,414 SF. $1,414 \times .50 = 707$ SF. Total Accessory Structures = 1,137 SF. 80.5% is proposed.

Additional comments:

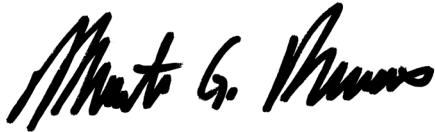
Shed 2 did/does not require a permit. However, it is subject to required setbacks and total allowable accessory SF.

The Survey shows the sanitary system under the existing pool deck and close to the pool. This is required to be resolved with the WCDOH and Town simultaneously with the Building Permit application. Repairs or modifications to the sanitary system will need to be approved by WCDOH prior to BP and completed prior to CO. If the application is rescinded, correction to the sanitary system is still required.

The Zoning Board of Appeals application shall be completed online. If the application is deemed complete additional instructions will follow and then the project will then be placed on the agenda for the next available Zoning Board of Appeals meeting.

Additional information may be required upon subsequent reviews. Technical comments for the submission may be issued separately. If you have any questions or comments please feel free to contact me by email or at 914-734-1010.

Sincerely,

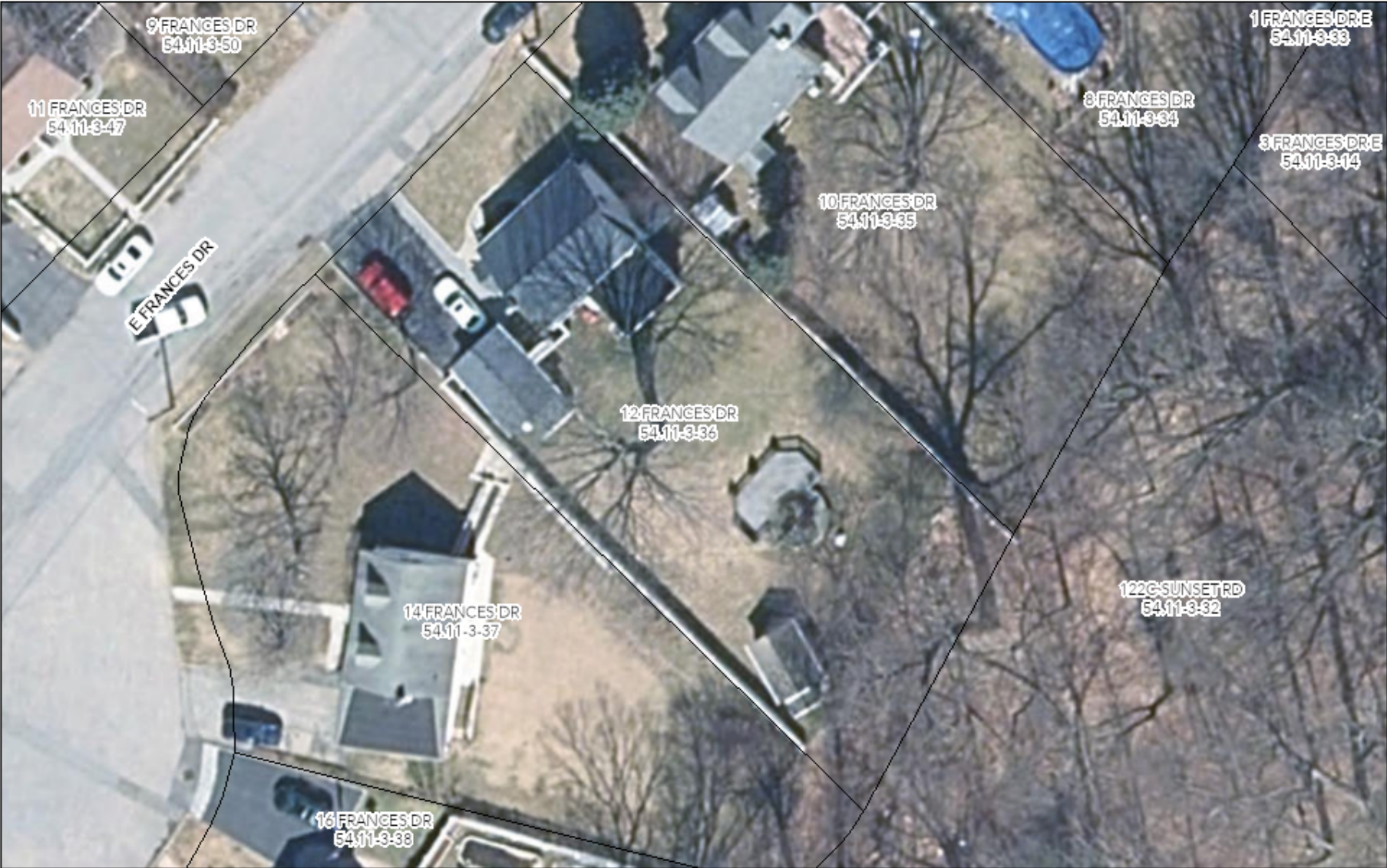
A handwritten signature in black ink, appearing to read "Martin G. Rogers". The signature is fluid and cursive, with the first letters of each word being capitalized and prominent.

Martin G. Rogers, P.E.
Director of Code Enforcement
Department of Technical Services

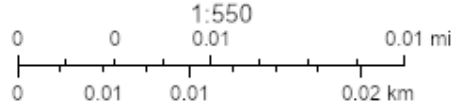
Cc: Chris Kehoe - Town Planner
Michael Cunningham, Esq - Town Atty
Michael Preziosi, P.E. - Dir D.O.T.S.
Jason Gotay, Property Owner

2025-2-21 12 Frances Drive ZBA Denial Ltr.Docx

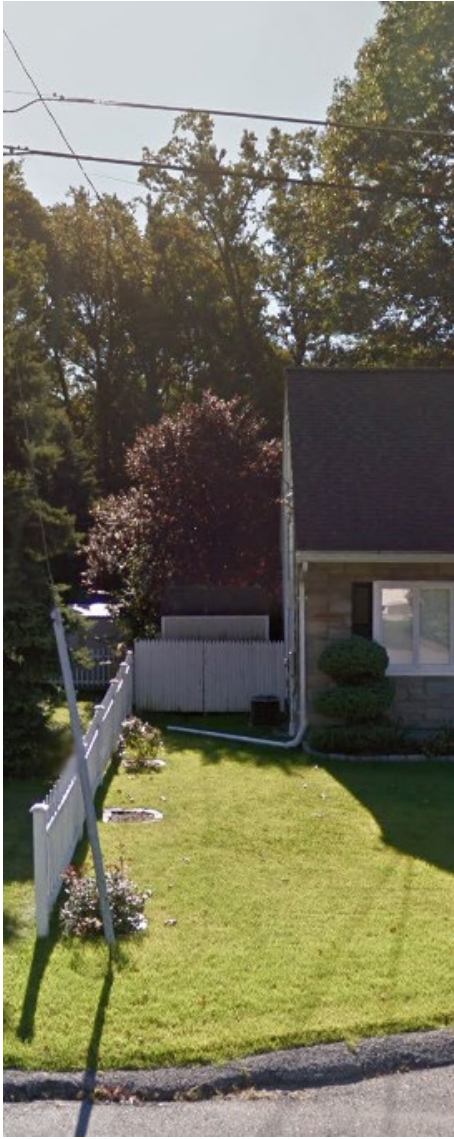
Cortlandt



3/7/2025, 2:04:35 PM



New York State, Maxar, Microsoft





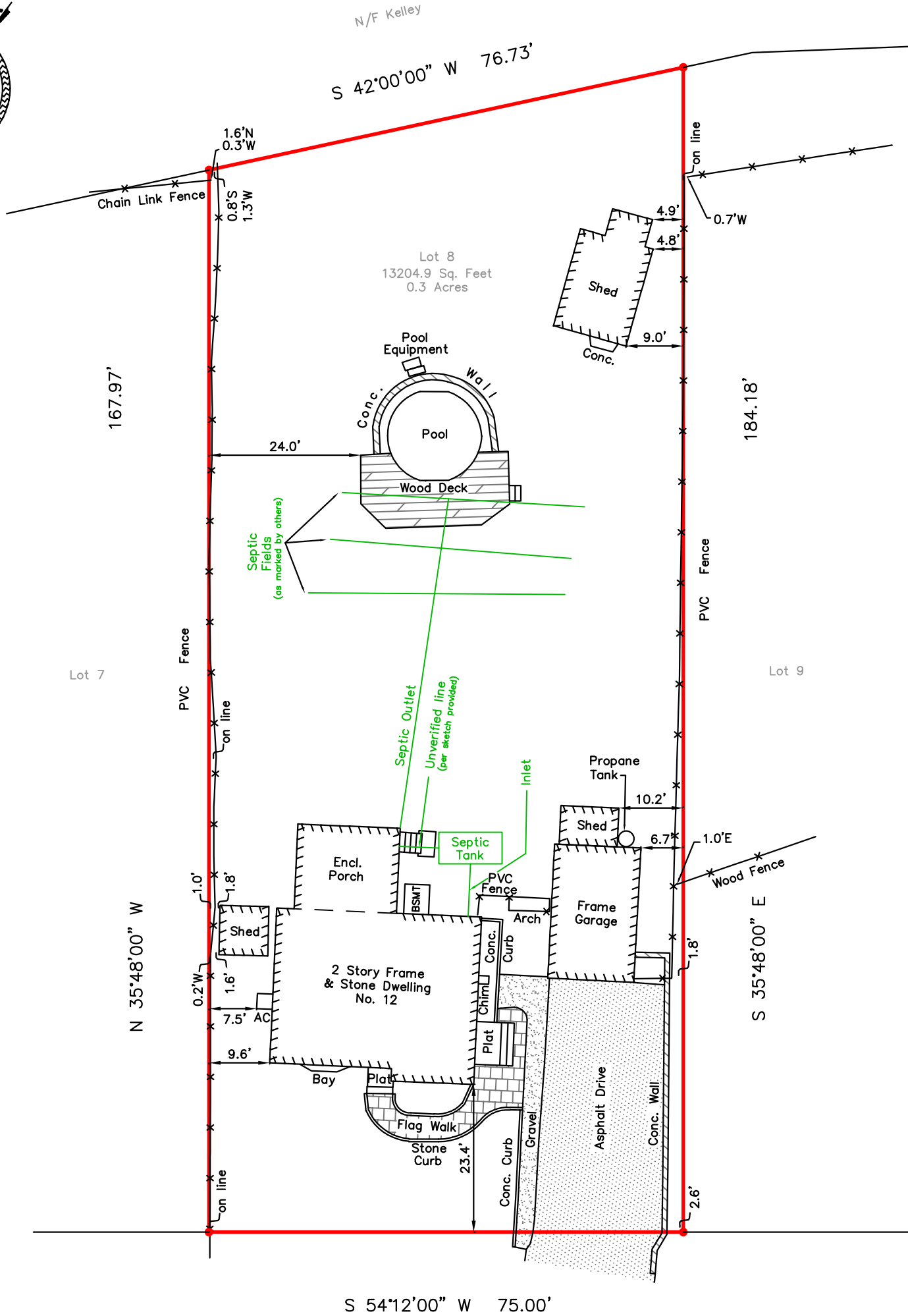
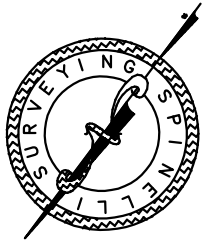
650 Halstead Avenue
Mamaroneck, NY 10543
1929 Commerce Street
Yorktown Heights, NY 10598
(914) 381-2357
www.SpinelliSurveying.com

Survey of Lot 8 as shown on "Map of
Montrose Manor, Inc., Section A" in the Town of
Cortlandt, Westchester County, NY. Filed
October 26, 1950 as Map No. 7227.

Surveyed 10.2.24
Map Drawn 10.3.24

SCALE 1"=20'

"MONTROSE MANOR"



FRANCIS DRIVE

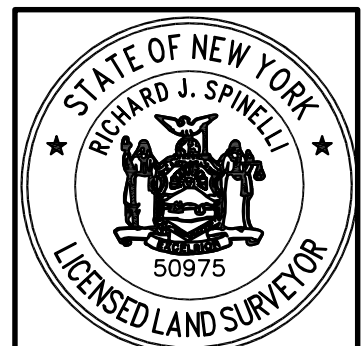
NOTES:

1. THIS PLAT WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT AND THEREFORE DOES NOT NECESSARILY INDICATE ALL ENCUMBRANCES UPON THE PROPERTY, AND THIS IS SUBJECT TO ALL RESERVATIONS, RESTRICTIONS, EASEMENTS AND AGREEMENTS OF RECORD TO THE EXTENT THAT THEY LAWFULLY APPLY TO THE PROPERTY.
2. THIS PLAT IS BASED ON A CURRENT FIELD SURVEY AND RESEARCH PERFORMED ON OR PRIOR TO THE DATE SHOWN ON PLAT AND IS BASED ON MONUMENTS AND EVIDENCE FOUND IN THE FIELD AND MAY NOT CONFORM TO DEEDS, DESCRIPTIONS OR PLATS OF RECORD.
3. PROPERTY CORNER MONUMENTS WERE NOT SET DURING THIS SURVEY
4. SEPTIC TANK, FIELDS AND SEPTIC SYSTEM SHOWN AS MARKED BY OTHERS.

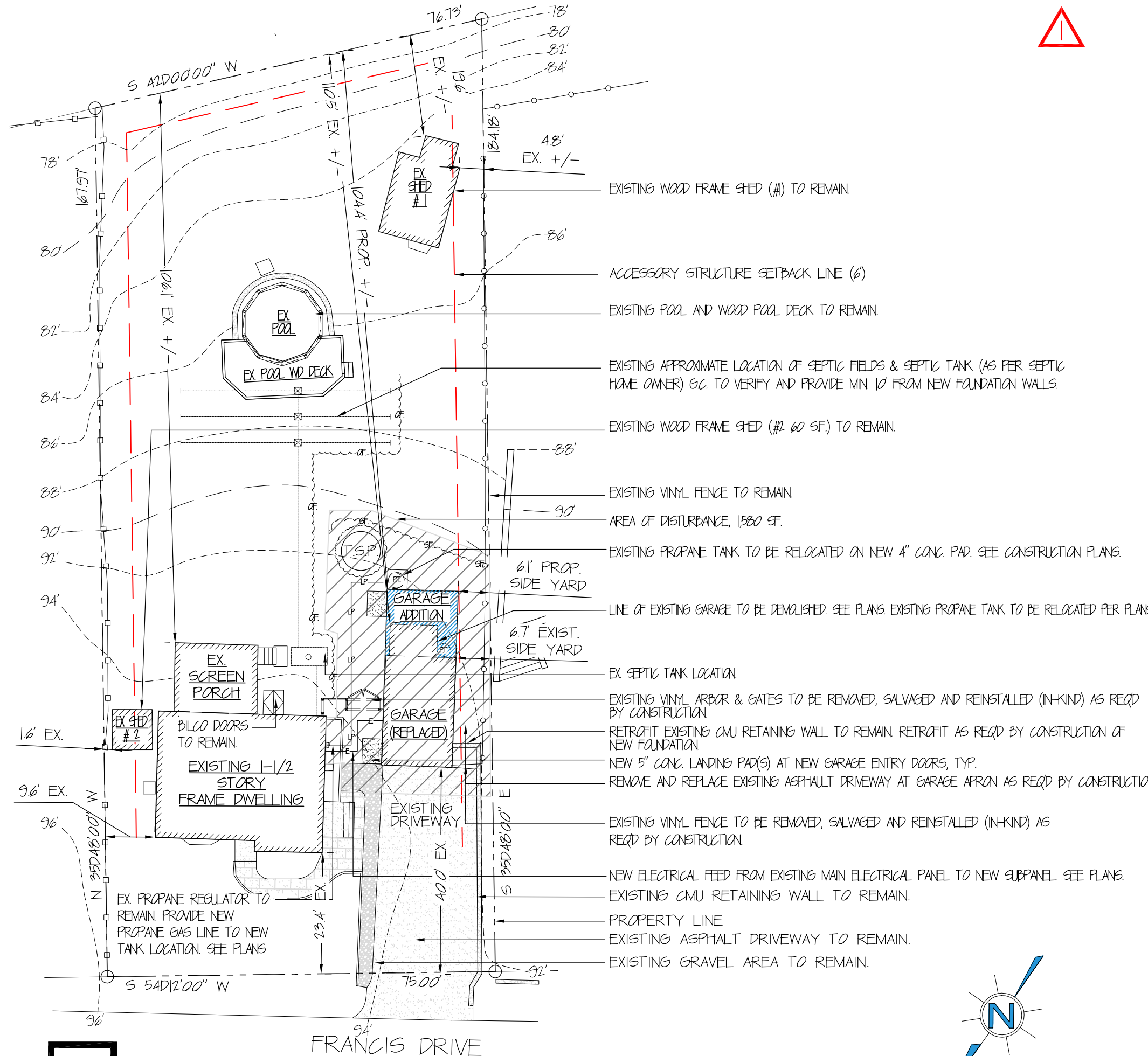
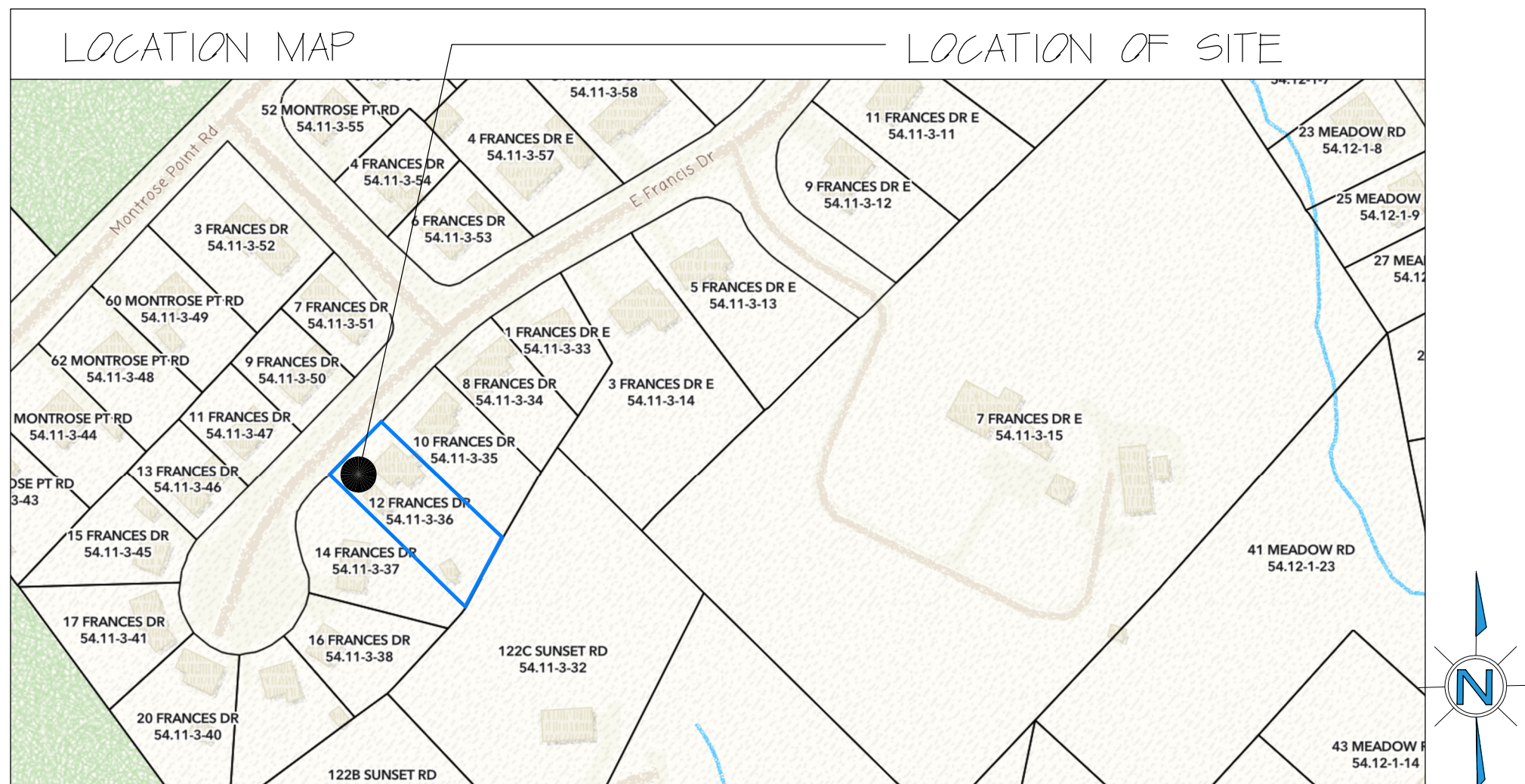


Richard J. Spinelli, L.S. NYS Lic. 50975

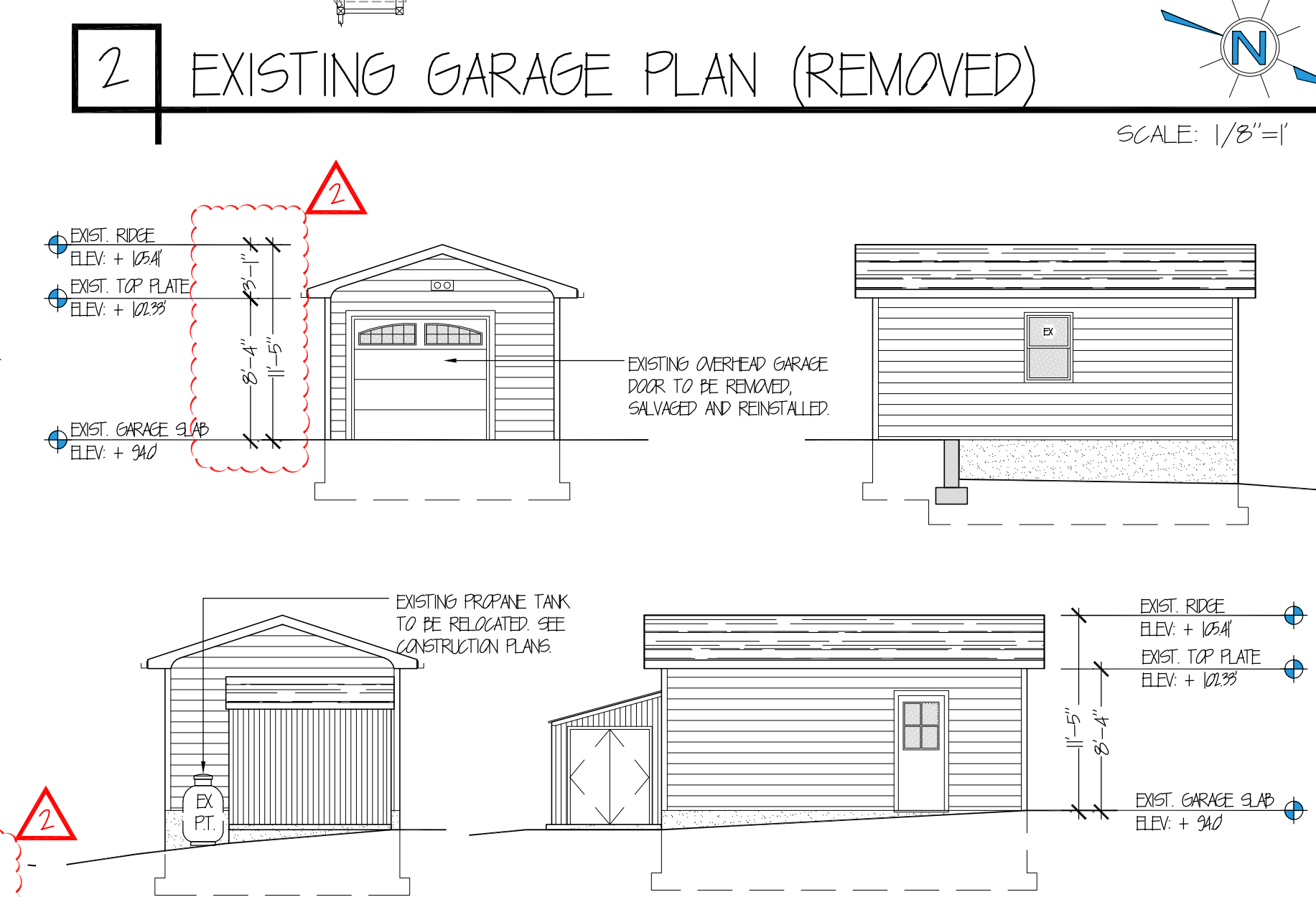
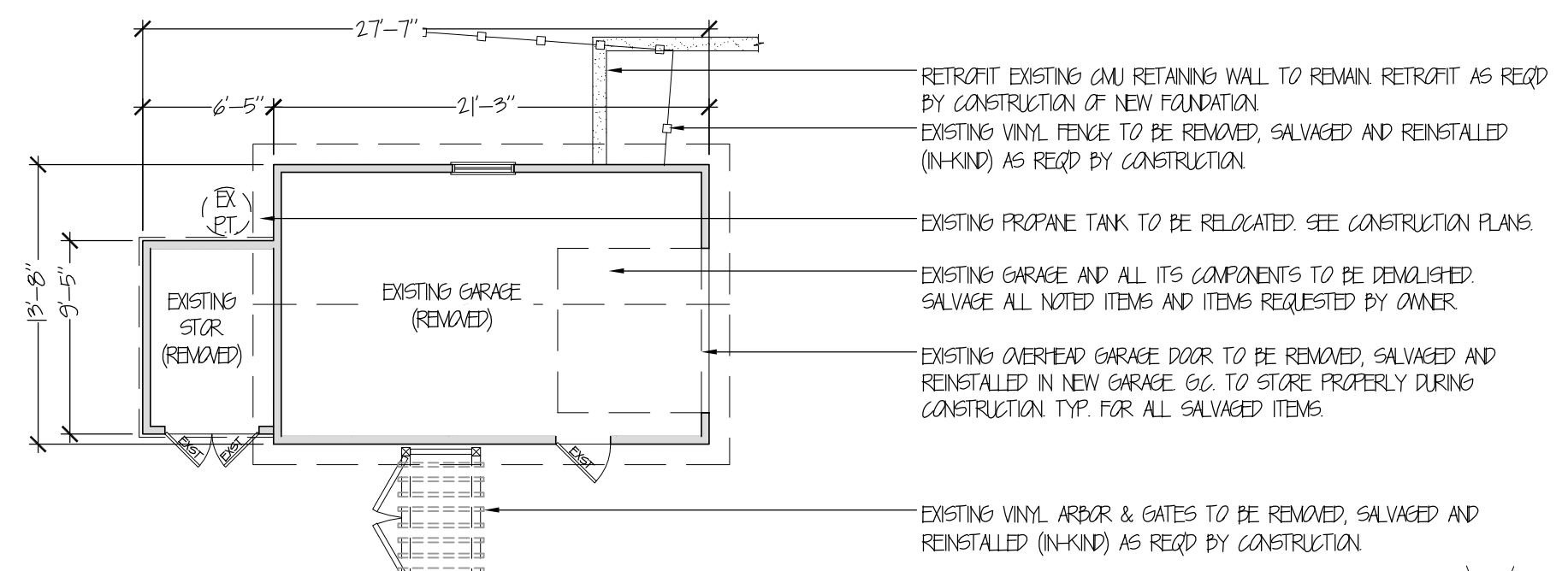
-Unauthorized additions to or alterations of this plan is a violation of Section 7209 of the N.Y.S. Education Law.



GARAGE REPLACEMENT & ADDITION FOR THE GOTAY RESIDENCE 12 FRANCES DRIVE, MONTROSE, NEW YORK 10548



SCOPE OF WORK
THE PROPOSED SCOPE OF WORK INCLUDES THE REMOVAL AND RECONSTRUCTION OF AN EXISTING DETACHED GARAGE. THE PROPOSED GARAGE WILL BE USED AS A HOME GYM AND SHALL BE ENLARGED AS PER PLANS AND ZONING REQUIREMENTS. SEE PLANS FOR ADDITIONAL INFORMATION.



- GENERAL NOTES**
- CONTRACTOR IS TO NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN PLANS AND SITE CONDITION. FAILURE TO DO SO PRIOR TO WORK WILL PUT ALL RESPONSIBILITY ON CONTRACTOR.
 - ANY UNAUTHORIZED ALTERATION OR ADDITION TO THIS DRAWING IS IN VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW. SUCH AUTHORIZATION SHALL ONLY BE IN WRITING. IT MUST BE SIGNED AND SEALED BY ARCHITECT. ALL CHANGES MUST BE IN WRITING. VERBAL CHANGES ARE NOT FINAL AUTHORIZATIONS. CONTRACTOR IS TO VISIT SITE AND VERIFY ALL DIMENSIONS IN FIELD PRIOR TO BIDDING.
 - WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL DIMENSIONS ARE NOMINAL. DO NOT SCALE DRAWINGS.
 - NO WORK IS TO COMMENCE UNTIL PERMITS HAVE BEEN OBTAINED FROM REQUIRED BUILDING DEPARTMENT.
 - ARCHITECT IS NOT RESPONSIBLE FOR SUPERVISION OF CONSTRUCTION.
 - CONTRACTOR IS TO MAKE CONTINUOUS OBSERVATIONS OF EXISTING STRUCTURE DURING PERFORMANCE OF HIS WORK AND SHALL NOTIFY ARCHITECT IF HE BECOMES AWARE OF ANY SITUATIONS THAT REQUIRE FURTHER INVESTIGATION (IE CRACKS, DEFLECTIONS, STRUCTURAL INSTABILITIES, ETC.).
 - ALL WORK SHALL CONFORM TO THE NEW YORK STATE BUILDING CONSTRUCTION CODE AND TO THE LAWS AND REGULATIONS OF THE CITY.
 - ALL CONTRACTORS SHALL CHECK AND VERIFY ALL CONDITIONS AND DIMENSIONS AND SHALL REVIEW THE DRAWINGS AND SPECIFICATIONS OF THEIR RESPECTIVE TRADES AND REVIEW ANY DISCREPANCIES WITH THE ARCHITECT PRIOR TO THE START OF THEIR WORK.
 - ALL CONTRACTORS ARE TO SUBMIT CERTIFICATES OF INSURANCE FOR GENERAL LIABILITY AND WORKMAN'S COMPENSATION INSURANCE TO THE OWNER, TOWN HALL AND GENERAL CONTRACTOR PRIOR TO THE BEGINNING OF ANY WORK.
 - ALL WORK ON THE CITY'S RIGHT OF WAY REQUIRES SEPARATE PERMIT AND APPROVAL FROM THE DEPARTMENT OF PUBLIC WORKS.
 - ALL HVAC, ELECTRIC AND PLUMBING WORK IS TO BE FILED UNDER SEPARATE APPLICATION. ARCHITECT HAS NOT BEEN RETAINED TO DESIGN ELECTRICAL, PLUMBING, HEATING OR VENTILATING SYSTEMS.
 - ALL WORK IS TO COMPLY WITH NEW YORK STATE ENERGY CODE.
 - THE CONTRACTOR IS RESPONSIBLE FOR ALL SITE DRAINAGE, WATERPROOFING AND PREVENTION OF WATER INFILTRATION IN THE BUILDING.

BUILDING CODE NOTE	THESE DRAWINGS WERE PREPARED IN COMPLIANCE WITH NEW YORK STATE BUILDING CODES AS LISTED BELOW. ALL WORK PERFORMED BY THE GC & SUBCONTRACTORS IS TO MEET THE MIN. REQUIREMENTS OF THE NEW YORK STATE BUILDING CODES.	LIST OF DRAWINGS	A-1 SITE PLAN, ZONING ANALYSIS & NOTES A-2 EXISTING GARAGE CONDITIONS A-3 GENERAL NOTES A-4 CONSTRUCTION PLANS, ELEVATIONS & SECTIONS A-5 WALL DETAIL & MEP NOTES & DETAILS
BUILDING CODES	2020 RESIDENTIAL BUILDING CODE OF NEW YORK STATE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE		
ENERGY CODE NOTE	THE DRAWINGS PREPARED FOR THIS PROJECT AND ALL COMPONENTS COMPLY (TO THE BEST OF MY KNOWLEDGE) WITH ALL THE REQUIREMENTS OF SECTION N-2020 NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE.		

ZONING DATA

LOCATION: 12 FRANCES DRIVE, MONTROSE NEW YORK, 10548			
ZONING DISTRICT:	R-15	SECTION: 54.11	BLOCK: 3 LOT: 36
PROPOSED USE:	SINGLE FAMILY RESIDENTIAL		
DESCRIPTION	REQUIRED	EXISTING	PROPOSED
LOT AREA	15,000 SF	13197 SF	NO CHANGE
LOT WIDTH	80' MIN.	75'	NO CHANGE
PRINCIPAL BUILDING			EXISTING NON-COMFORMING
BUILDING HEIGHT	35' MAX	26.00 +/- 1.5 STORIES	NO CHANGE
FRONT YARD	35' MIN.	23.4 FT	NO CHANGE
REAR YARD	25' MIN.	106.1 FT (+/-)	NO CHANGE
SIDE YARD	14' MIN.	9.76 FT	NO CHANGE
MAX. BLDG COVERAGE	65% OF F.R.A.	65% 1,982.5 SQFT (ALLOWABLE)	NO CHANGE
MIN. LANDSCAPE COVERAGE	MIN 50% SF	22.9% 3,024 SQFT (ACTUAL) 50% 6,598 SQFT (REQUIRED)	23.8% 3,141 SQFT (ACTUAL) 50% 6,598 SQFT (REQUIRED)
MAX. BLDG FLOOR AREA	13,000 SF LOT	1,414 SF +/- (ACTUAL)	NO CHANGE
ACCESSORY BUILDING	3,050 SF	3,050 SF (ALLOWABLE)	PER 307 ATTACHMENT 4
BUILDING HEIGHT	10' - 7" MAX.	8'-4" - 3'-1"	10'-0" - 3'-0"
MAX AREA	50% BLDG	1,020 SQFT (ACTUAL) 707 SQFT (ALLOWABLE)	1,137 SQFT (ACTUAL) 707 SQFT (ALLOWABLE)
SIDE YARD	6' MIN.	4.8' (SHED #1)	6.1' (PROP. GAR)
REAR YARD	6' MIN.	19.6' (+/-)	NO CHANGE
			SHED #1

PROJECT INFO

AREA OF DISTURBANCE:	1580 SF
TREES:	NO TREES TO BE REMOVED
WETLANDS:	NOT WITHIN 100' CONTROL AREA
IMPERVIOUS SURFACE CALCS	
EXIST. DWELLING FOOTPRINT (W/ PORCH):	1031 SF
EXIST. GARAGE:	345 SF
EXIST. ASPHALT DRIVEWAY:	705 SF
EXIST. WALKWAY/STOOPS:	208 SF
EXIST. SHED #1:	230 SF
EXIST. SHED #2:	60 SF
EXIST. POOL:	176 SF
EXIST. POOL DECK:	219 SF
TOTAL EXISTING IMPERVIOUS SURFACES:	3,024 SF
PROP. GARAGE REMOVED:	-345 SF
PROP. REPLACEMENT GARAGE:	462 SF
TOTAL PROPOSED IMPERVIOUS SURFACES:	117 SF
TOTAL IMPERVIOUS SURFACES:	3,141 SF

SITE PLAN NOTES:

- INFORMATION & NOTES ON THIS SITE PLAN WERE TAKEN FROM THE SURVEY PREPARED BY H. STANLEY JOHNSON AND COMPANY LAND SURVEYORS P.C. DATED 09-10-2021. ADD. INFO LOCATED FROM WESTCHESTER GAS & SITE MEASUREMENTS BY ARCHITECT.
- GC TO VERIFY AND LOCATE EXISTING UTILITY IN FIELD PRIOR TO START OF CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- ALL EXISTING GRASSES TO REMAIN AROUND PROPOSED ALTERATIONS UNLESS OTHERWISE NOTED ON THESE PLANS.
- THE APPLICANT IS AWARE THAT THE ENTIRE SITE MUST BE 100% STABILIZED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. DISTURBED AREAS SHALL BE RESTORED AND STABILIZED APPROPRIATELY AND IN A TIMELY MANNER.
- NO RECYCLED MATERIAL LOAD IS PERMITTED ON SITE. ANY IMPORTED SOIL SHALL MEET THE NYSDEC STANDARDS OF UNRESTRICTED FILL AND BE SUITABLE FOR RESIDENTIAL USE.
- PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, AN "AS-BUILT" SURVEY PREPARED BY A LICENSED PROFESSIONAL LAND SURVEYOR OF THE PROPERTY SHALL BE SUBMITTED TO THE DEPARTMENT OF TECHNICAL SERVICES.
- PRIOR TO THE BACKFILLING OF ANY STORM WATER PEST MANAGEMENT PRACTICE, THE ENGINEER/ARCHITECT SHALL BE NOTIFIED TO PERFORM AN INSPECTION. CONTACT ENGINEERING AT 914-794-1000 TO SCHEDULE AN INSPECTION.
- PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE ENGINEER/ARCHITECT SHALL SUBMIT A CERTIFICATION ADDRESSED TO THE TOWN OF CARLISLE DEPARTMENT OF TECHNICAL SERVICES THAT THE SITE WORK HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS ON FILE WITH THE TOWN AND THAT THERE IS NO ADVERSE IMPACTS TO ADJACENT AND ADJOINING NEIGHBORS AS IT PERTAINS TO DRAINAGE AND RUNOFF.
- NO FILL SHALL BE IMPORTED TO THE SITE PRIOR TO REVIEW. INDICATE THE SOURCE OF ALL PROPOSED FILL AND PROVIDE DOCUMENTATION. ALL IMPORTED FILL MUST BE TESTED AND CERTIFIED AS UNRESTRICTED AND SUITABLE FOR RESIDENTIAL USE. CERTIFICATIONS MUST BE PROVIDED BY A LICENSED PROFESSIONAL. ALL CERTIFICATIONS SHALL BE ADDRESSED TO WHOM IT MAY CONCERN. FILL SHALL BE REMOVED BY A 3RD PARTY CONSULTANT RETAINED BY THE TOWN AND PAID FOR BY THE APPLICANT.
- FOOTING DRAINS SHALL BE SEPARATE FROM LEADER DRAINS AND DRAIN TO DAYLIGHT.

EXCAVATED SOIL NOTES:

- NO PROPOSED EXCAVATED SOIL OR FILL PROPOSED

ELECTRICAL NOTE:

ELECTRICAL BY OTHERS.
LICENSED ELECTRICAL CONTRACTOR TO FILE UNDER SEPARATE PERMIT AS REQUIRED BY THE LOCAL BUILDING DEPARTMENT.

SEQUENCE OF OPERATIONS:

- ALL CONSTRUCTION ACTIVITY SHALL FOLLOW THE FOLLOWING SEQUENCE:
 - INSTALL ALL EROSION CONTROL MEASURES. SEE EROSION CONTROL NOTES.
 - CLEARING AND GRUBBING.
 - INSTALL A STABILIZED CONSTRUCTION ENTRANCE.
 - EXCAVATION AND GRADING.
 - FOUNDATION AND UTILITY INSTALLATION.
 - BACK FILL AND FINISH GRADING.

DEMOLITION GENERAL NOTES:

- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL LABOR, EQUIPMENT AND SERVICES TO PROPERLY EXECUTE THE DEMOLITION AND REMOVAL WORK INDICATED ON THESE CONSTRUCTION DOCUMENTS.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND SHALL NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCY.
- SELECTIVE DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, REMOVAL AND LEGAL DISPOSAL OF EQUIPMENT AND SYSTEMS MADE OBSOLETE AND/OR REPLACED BY NEW WORK. SELECTIVE DEMOLITION INCLUDES REMOVAL AND RELOCATION OR RE-INSTALLATION, DISCONNECTIONS AND RE-CONNECTIONS OF SERVICES, TEMPORARY CAPPING AND RE-ROUTING OF TEMPORARY SERVICES TO PERMIT NEW OR RENOVATION WORK TO PROCEED.
- ALL DEBRIS AND MATERIALS FROM THE SITE SHALL BE DISPOSED OF OFF THE SITE IN A LEGAL MANNER. NO RECLAIMED MATERIAL SHALL BE RE-USED EXCEPT AS SPECIFICALLY APPROVED BY ARCHITECT OR OWNER.
- WHERE DEMOLITION AND CUTTING WORK HAS OCCURRED OR WHERE EXISTING SURFACES, MATERIALS OR OTHER ITEMS HAVE BEEN DAMAGED OR DISTURBED AS A RESULT OF THIS CONTRACT, THE SAID SURFACES AND AREAS SHALL BE CAREFULLY CLOSED UP, PATCHED AND FINISHED, AND OR RESTORED AS REQUIRED TO BE CONTIGUOUS TO EXISTING SURROUNDING SURFACES.
- ANY DAMAGE TO THE PUBLIC SPACES OF THE BUILDING SHALL BE RECTIFIED TO THE SATISFACTION OF THE OWNER BY GC AT HIS OWN EXPENSE. CLIENT AND ARCHITECT ARE TO BE HELD HARMLESS.
- NO STRUCTURAL DEMOLITION IS REQUIRED FOR THIS PROJECT, BUT SHOULD THERE BE ANY DOUBT OF STRUCTURAL STABILITY AT THE JOB SITE, GC IS TO NOTIFY ARCHITECT/ENGINEER IMMEDIATELY IF THERE ARE ANY PORTIONS OF THE STRUCTURE THAT ARE OR BECOME UNSTABLE DURING CONSTRUCTION.
- PROVIDE DUST AND DEBRIS PROTECTION COVER OVER ANY OPENINGS INTO PUBLIC SPACES.
- THE GWD ON THE DEMISING WALLS & CEILINGS BETWEEN TENANTS IS RATED AND CAN ONLY BE REMOVED WHEN CONTRACTOR IS READY TO REPLACE GWD WITH SAME TENANTS, SO AS NOT TO COMPROMISE THE FIRE SEPARATION BETWEEN TENANTS.
- REMOVE NON-STRUCTURAL PARTITIONS IF THERE ARE ANY QUESTIONS REGARDING ANY PARTITIONS, CALL ARCHITECT OR ENGINEER BEFORE PROCEEDING WITH THE DEMOLITION.
- DO NOT DISTURB EXIST. SPRINKLER HEADS & PIPING, EXISTING SMOKE/FIRE DETECTION AND EXIT SIGNAGE.
- DO NOT DISTURB EXIST. DUCTS, AIR-HANDLER, ETC. UNLESS OTHERWISE NOTED.

EXISTING CONDITIONS NOTES:

- BEFORE PROCEEDING WITH ANY WORK WITHIN THE EXISTING PROPERTY, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL NECESSARY BRACING, SHORING AND OTHER SAFEGUARDS TO MAINTAIN ALL PARTS OF THE EXISTING WORK IN A SAFE CONDITION DURING THE PROCESS OF DEMOLITION AND CONSTRUCTION AND TO PROTECT FROM DAMAGE THOSE PORTIONS OF THE EXISTING WORK WHICH ARE TO REMAIN.
- THE CONTRACTOR SHALL FIELD VERIFY THE DIMENSIONS, ELEVATIONS, ETC. NECESSARY FOR THE PROPER CONSTRUCTION AND ALIGNMENT OF THE NEW PORTIONS OF THE WORK TO THE EXISTING WORK. ANY DISCREPANCY SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER GC TO VERIFY ALL FIELD CONDITIONS & NOTIFY ARCHITECT/ENGINEER IMMEDIATELY OF ANY CONCEALED STRUCTURAL PROBLEMS.

Robert J. Keeler, R.A.
37 Luigi Road
Putnam Valley, NY 10579
Tel: (845) 494-7555
Email: robert@keelerarchitecture.com

**GARAGE REPLACEMENT & ADDITION FOR
GOTAY RESIDENCE**
12 FRANCES DRIVE
MONTROSE, NY 10548

Site Plan, Zoning Data & General Notes

General Note: Drawings and specifications are instruments of professional service and shall remain the property of Keeler Architecture P.C. This document is intended solely for the construction of the project named herein and shall not be used for any other construction without the written permission of Keeler Architecture P.C.



02-12-25	D&B COMMENTS	▲
01-29-25	D&B COMMENTS	▲
08-14-24	FILED SET	
Date	Description	
Scale:	AS NOTED	
Drawn By:	R.K.	
Job No.:	24605	

A-1

GENERAL SPECIFICATIONS

SITE WORK

- 1. THE WORK UNDER THIS SECTION SHALL INCLUDE FURNISHING ALL LABOR, MATERIALS, TOOLS, APPLIANCES AND EQUIPMENT AND PERFORMING ALL OPERATIONS NECESSARY FOR COMPLETE EXECUTION OF CLEARING, EXCAVATING, BACKFILLING AND GRADING AS INDICATED HERE AND IN WORKING DRAWINGS.
2. EXCAVATING: EXCAVATING SHALL INCLUDE REMOVAL OF ALL MATERIALS TO PERMIT PROPER WORKING CLEARANCE AND INSTALLATION OF CONCRETE FOOTINGS, WALLS, PERIS, AREAWAYS, SLABS, POROUS FILL UNDER SLAB AND ANY PAVING, UNDERPINNING AND WATERPROOFING. ALL ROCK REMOVED SHALL BE DONE BY MEANS OF MECHANICAL HAMMER OR HYDRAULIC SPLITTER. ARCHITECT'S COST ESTIMATE FOR REMOVAL OF UNDERGROUND ROCK FORMATIONS AND ROCK BED FOR COMPLETION OF PROJECT SHALL BE FINAL & BINDING. UNDER NO CIRCUMSTANCES SHALL ROCK PLASTING BE PERMITTED ON THIS JOB SITE.

CONCRETE & MASONRY

- 1. CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR EQUIPMENT AND APPLIANCES REQUIRED FOR THE COMPLETION, EXECUTION OF ALL CONCRETE FOUNDATION WORK, CONCRETE SLABS AND PLATFORMS, CONCRETE FOOTINGS AND MASONRY WALLS AS INDICATED IN WORKING DRAWINGS.
2. ALL CONCRETE SHALL HAVE MIN. COMPRESSIVE STRENGTH OF 4000 PSI AFTER 28 DAYS, INCLUDING FOOTINGS, PERIS, SLABS AND PLATFORMS. ALL CONCRETE EXPOSED TO WEATHER MUST BE AIR ENTRAINED.

WOOD & PLASTICS

- 1. ALL FRAMING LUMBER SHALL BE DOUGLAS FIR NO. 1 AND 2 COMMON HAVING A MIN. ALLOWABLE BENDING STRESS OF 2400 PSI. ALL LUMBER SHALL BE KILN DRIED TO A MAXIMUM MOISTURE CONTENT OF 19%.
2. LUMBER SIZE AND SPACING AS INDICATED ON WORKING DRAWINGS.
3. ALL PLYWOOD SHALL BE MIN. 1/2" CDX EXTERIOR GRADE FOR SIDING AND MIN. 5/8" CDX FOR ROOF SHEATHING.

THERMAL & MOISTURE PROTECTION

- 1. INSULATION - ALL EXTERIOR WALLS, CEILING, AND ROOFS, AS INDICATED ON WORKING DRAWINGS AND PER NY STATE ENERGY & BUILDING CODE - LATEST EDITION.
2. EXTERIOR DOOR, CONCRETE, SADDLES AND WINDOW FRAMES AND WINDOW WALLS SHALL BE CALKED WITH NON-BITUMINOUS, NON-STAINING 'MONO' MANUFACTURED BY TREMCO OR EQUAL AND PACKED WITH INSULATION AT EDGES TO PREVENT DIRECT AIR INFILTRATION.

DOORS & WINDOWS

- 1. ALL DOORS AND WINDOWS SHALL BE SIZE, TYPE AND FIRE RATING INDICATED ON PLANS AND SCHEDULES. ALL GLAZING SHALL BE REGULAR DOUBLE PANE INSULATED GLASS BY ANDERSEN WINDOWS & DOORS MFG. OR APPROVED EQUIVALENT. SEE PLANS FOR ADD. INFO.
2. EXTERIOR DOORS SHALL HAVE INSULATING CORES WITH AN ALUMINUM SADDLE OR EQUIVALENT INDICATED ON PLANS. ALL DOORS TO GARAGES AND MECHANICAL ROOMS SHALL BE EQUIPPED WITH SELF-CLOSING HINGES. ALL DOOR FIRE RATING SHALL BE AS INDICATED ON PLANS.

FINISHES

- 1. CONCRETE SLAB - CONCRETE FLOOR SLABS SHALL BE CLEANED AND TREATED WITH SEALER TO HELP SLAB RESIST ABRASION, WEAR, IMPACT AND CRACKING AND CONCRETE DUST. SEALER TO PREVENT INFILTRATION OF WATER, OILS, GREASES AND SOLVENTS.
2. MASONRY WALLS - SPLIT-RIP BLOCK TO BE TREATED WITH WATERPROOFING AGENT UPON COMPLETION.
3. FRAME WALLS - FRAME WALLS SHALL RECEIVE GYPSUM BOARD PANELS (THICKNESS - INDICATED ON PLANS) WHICH SHALL RECEIVE 2 COATS OF PAINT PROVIDING A WASHABLE FINISHED SURFACE.

WINDOW, DOOR & H.WARE NOTES

- 1. GC TO VF ALL WINDOW SIZES PRIOR TO ORDERING & INFORM ARCH IMMEDIATELY OF ANY DISCREPANCIES.
2. ALL WINDOW EXTERIOR/INTERIOR FINISH TO MATCH EXISTING WINDOWS. CONFIRM WITH OWNER PRIOR TO ORDERING.
3. ALL HARDWARE & SCREENS TO BE PRICED & PRESENTED TO OWNER FOR SELECTION.
4. ALL NEW DOORS SHALL BE FINISHED PER OWNERS REQMENTS. ALL HARDWARE & RELATED MTL FINISH ACCESSORIES SHALL BE SELECTED & CONFIRMED BY OWNER PRIOR TO ORDERING.

MECHANICAL, ELECTRICAL & PLUMBING

HEATING

- 1. HEATING CONTRACTOR SHALL GUARANTEE THAT THE HEATING SYSTEM SHALL BE PROPERLY DESIGNED, INSTALLED AND ADJUSTED TO MAINTAIN A CONSTANT 70° F INDOOR TEMPERATURE WHEN OUTDOOR TEMPERATURE IS 2° F WITH A 1/2" MPH WIND.
2. HEATING SYSTEM SHALL BE GAS FIRED (OIL IF GAS NOT AVAILABLE). HEATING SYSTEM SHALL HAVE A MIN. COMBUSTION EFFICIENCY OF 75% AT MAX RATED OUTPUT. ALL HOT WATER PIPING SHALL RECEIVE MIN. 1" OF PIPE INSULATION WHEN IN UNHEATED SPACES IN ADDITION TO REGULAR BUILDING INSULATION.

ELECTRICAL

- 1. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A WESTCHESTER COUNTY LICENSED ELECTRICAL CONTRACTOR AND SHALL CONFORM WITH ALL PROVISIONS OF THE NYS UNIFORM CODE, NATIONAL ELECTRICAL CODE AND ALL APPLICABLE LOCAL CODES.
2. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION [AS PROVIDED]

PLUMBING

- 1. ALL PLUMBING WORK SHALL BE PERFORMED BY A WESTCHESTER COUNTY LICENSED PLUMBING CONTRACTOR.
2. HOUSE DRAIN AND SEWER LINE WILL BE CAST IRON PIPE OR AS REQUIRED BY LOCAL PLUMBING CODES. ALL BELOW GRADE WASTE PIPING TO BE CAST IRON HEAVY DUTY WITH LEAD AND DUKUM JOINTS.
3. ALL HOT AND COLD WATER LINES TO BE TYPE L COPPER, 1/2" OR 3/4" SOLDERED JOINTS, COPPER FITTINGS AND BRASS VALVES AND OF PROPER SIZE. PROVIDE (1) 3/4" HOSE BIB AS INDICATED ON PLANS. PROVIDE CHROME PLATED SHUT-OFF VALVES UNDER ALL FIXTURES. HOSE CONNECTIONS TO BE ANTI-FREZE.

STEEL & CONCRETE DESIGN DATA

STEEL DESIGN DATA

Table with 2 columns: STRUCTURAL STEEL and TUBE COLUMNS. Values include ASTM - A500, GRADE B and ASTM - A36.

CONCRETE DESIGN DATA

- 1. ALL CONCRETE WORK, BOTH MATERIALS AND CONSTRUCTION PROCEDURES SHALL BE IN ACCORDANCE WITH ACI STANDARD 308-89.
2. CONCRETE SHALL BE CAPABLE OF DEVELOPING A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS.
3. REINFORCING BARS SHALL BE DEFORMED BUILT UP STEEL BARS IN ACCORDANCE W/ ASTM A618, GRADE 60. ALL BARS SHALL BE PROVIDED WITH ACI STANDARD ANCHORS.

DESIGN LOADS PER CODE AS FOLLOWS:

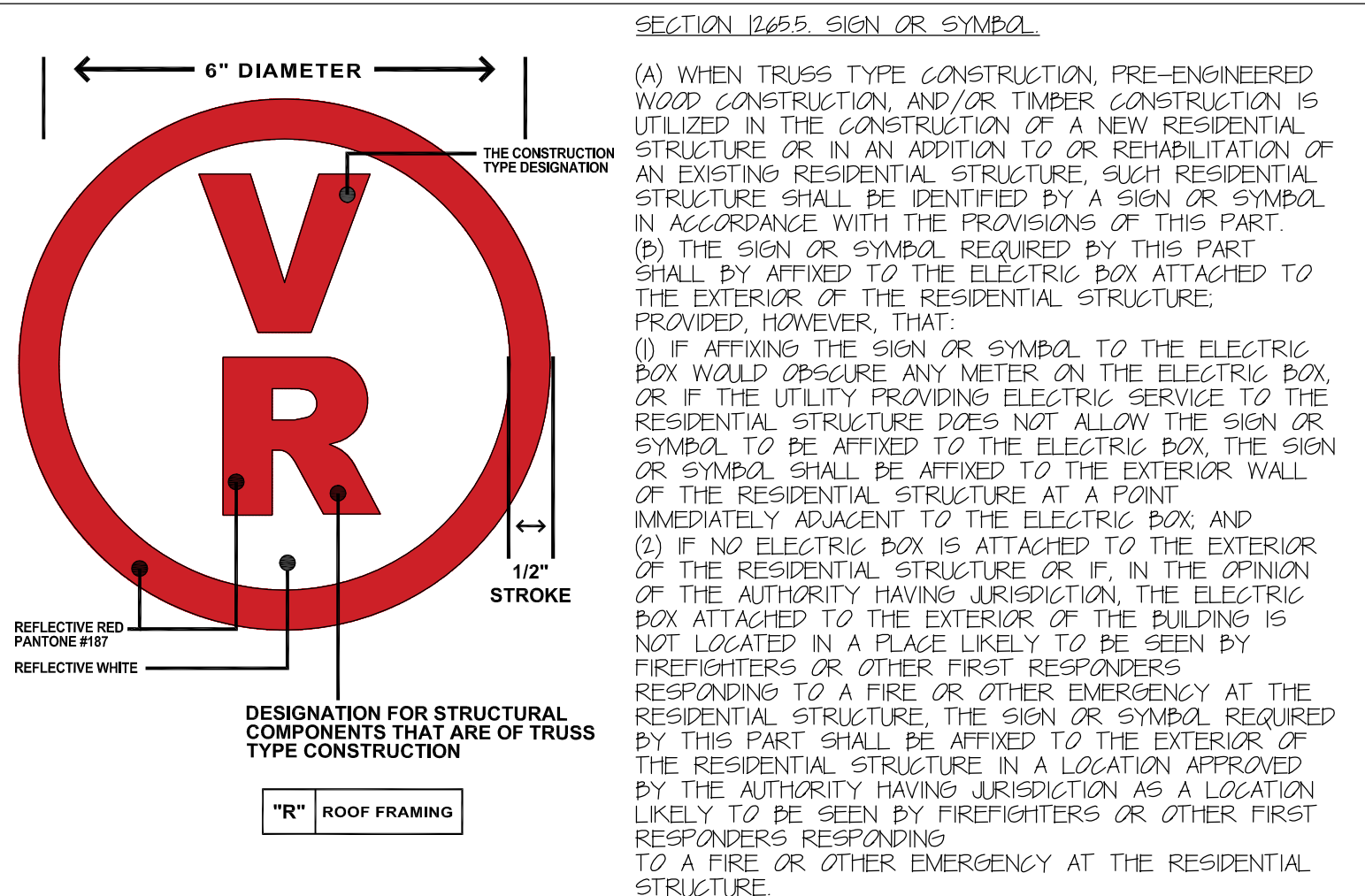
Table with 5 columns: SLAB/GARAGES, 1ST FLOOR, 2ND FLOOR, ATTIC, ROOF. Values range from 50 PSF to 40 PSF.

ALL SOILS TO BE VIRGIN, ASSUMED SOIL BEARING CAPACITY: 5000 PSF

ACCESSORY STRUCTURE AREA CALCULATIONS

Two tables: ACCESSORY STRUCTURE FLOOR AREA CALCULATIONS - PER 307 ATTACHMENT 3 NOTE 3 and PROPOSED ACCESSORY STRUCTURE AREA(S). Includes columns for structure, floor area, and location.

PRE-ENGINEERED WOOD STRUCTURE SIGN DETAIL

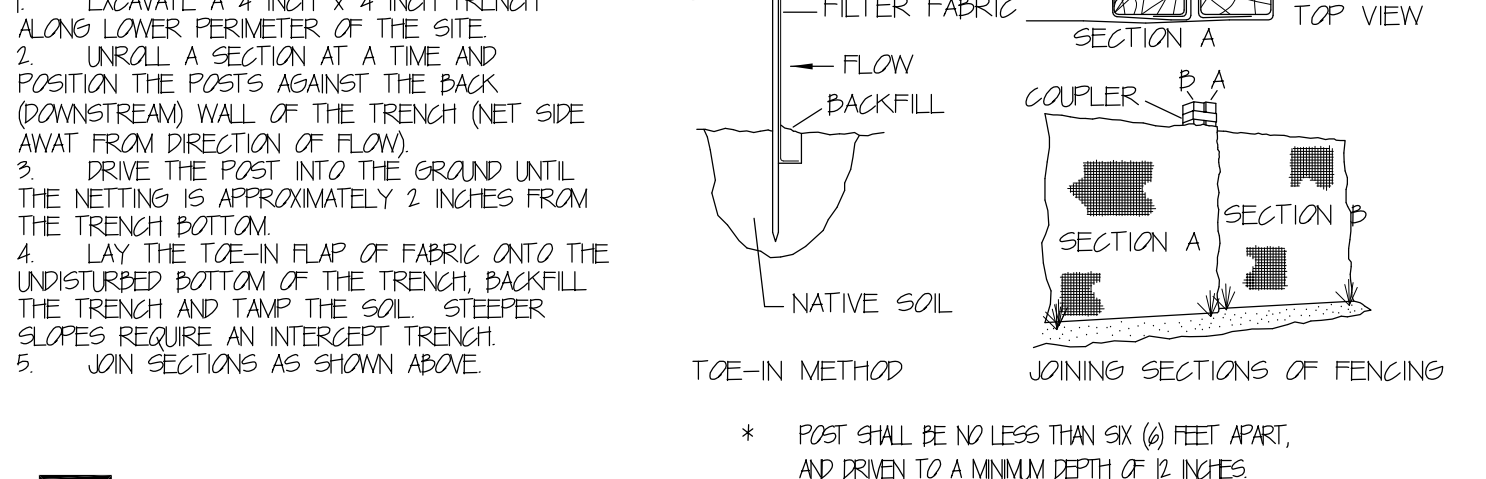


GENERAL EROSION CONTROL DETAILS

EROSION CONTROL

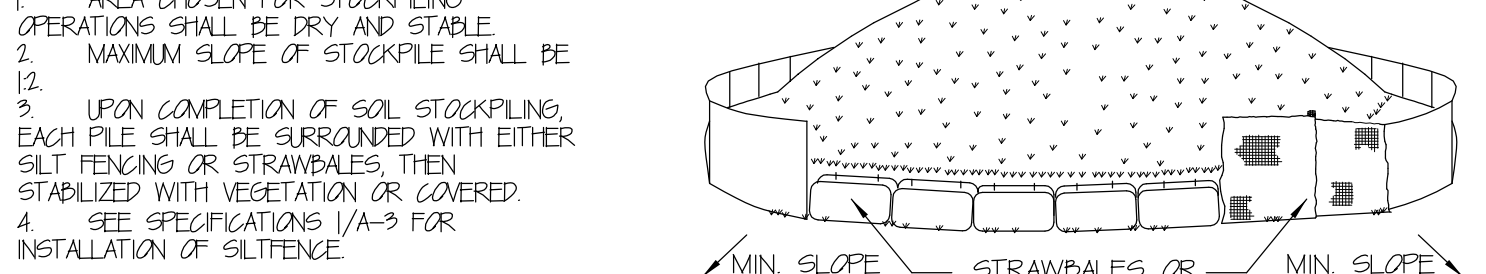
- 1. ALL EROSION CONTROL MEASURES SHALL BE PUT INTO PLACE PRIOR TO START OF ANY CONSTRUCTION ACTIVITY TAKING PLACE.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
3. TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVEL IN ALL SEDIMENT TRAPS SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED OR AS ORDERED BY THE ENGINEER.

INSTALLATION NOTES:



SILT FENCE DETAIL

INSTALLATION NOTES:



SOIL STOCKPILE DETAIL

WINDOW SCHEDULE LIGHT & VENT CALCULATIONS

WINDOW SCHEDULE table with columns: TAG, MODEL #, TYPE, ROUGH OPENING (W, H), UNIT, EXTERIOR FINISH, INTERIOR FINISH, LIGHT SF, VENT SF, QUANTITY, NOTES. Includes a total row.

LIGHT & VENT CALCULATIONS

NOT REQUIRED - GARAGE

STANDARD SYMBOLS CONST. PLAN LEGEND

Table mapping symbols to descriptions: DETAIL NO., DRAWING NO., REVISION NO., INDICATES ALIGNMENT, EXISTING WALL TO REMAIN, WALL TO BE REMOVED, NEW WALL, INDICATES CENTERLINE, INDICATES BREAKLINE, INDICATES EXISTING DOOR/FRAME TO REMAIN, INDICATES NEW DOOR/FRAME AND HARDWARE WITH 4\"/>

PLAN LEGEND

Table mapping symbols to descriptions: EXISTING WALL TO REMAIN UNLESS OTHERWISE NOTED ON PLANS, EXISTING WALL REMOVED, NEW CMU FOUNDATION WALL, NEW EXTERIOR WALL CONSTRUCTION, NEW INTERIOR WALL CONSTRUCTION, LINE OF NEW STRUCTURE ABOVE, SMOKE / CARBON MONOXIDE DETECTOR, CARBON MONOXIDE DETECTOR, SMOKE DETECTOR, HEAT DETECTOR.



Robert J. Keeler, R.A. 37 Luigi Road Putnam Valley, NY 10579 Tel: (845) 494-7555 Email: robert@keelerarchitecture.com

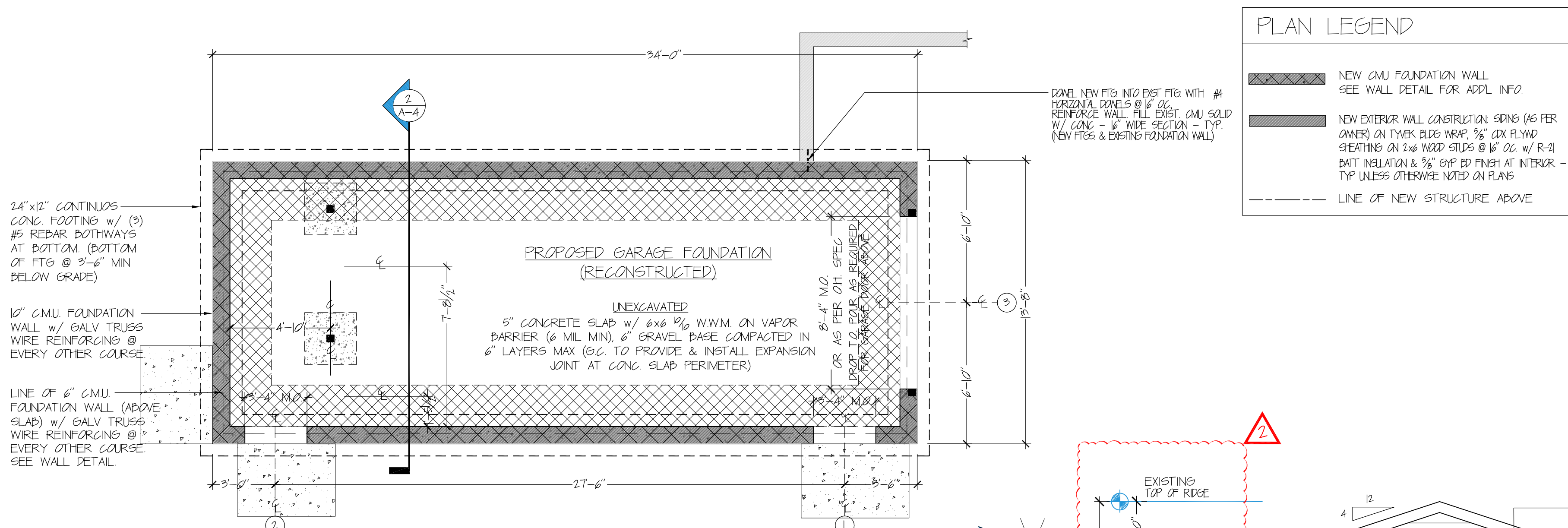
GARAGE REPLACEMENT & ADDITION FOR GOTAY RESIDENCE 12 FRANCES DRIVE MONTROSE, NY 10548

CONSTRUCTION & GENERAL NOTES. General Note: Drawings and specifications are instruments of professional service and shall remain the property of Keeler Architecture P.C. Any reproduction or use without the written permission of Keeler Architecture P.C. is prohibited.



Table with 2 columns: Date, Description. Includes entries for 02-12-25, 01-23-25, 08-14-24. Includes Scale: AS NOTED, Drawn By: R.K., Job No.: 24605.

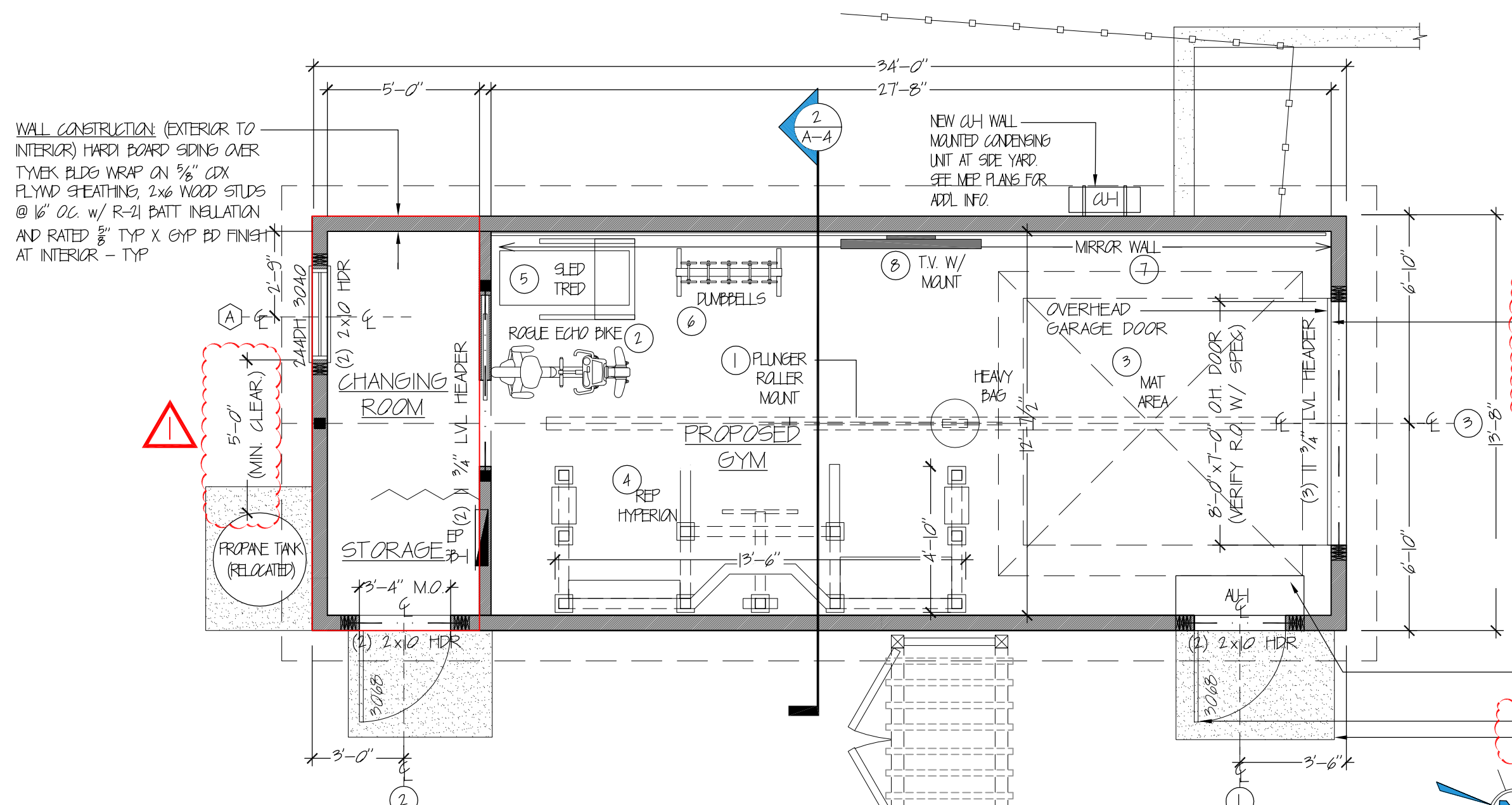
A-2



1 GARAGE FOUNDATION CONSTRUCTION PLAN

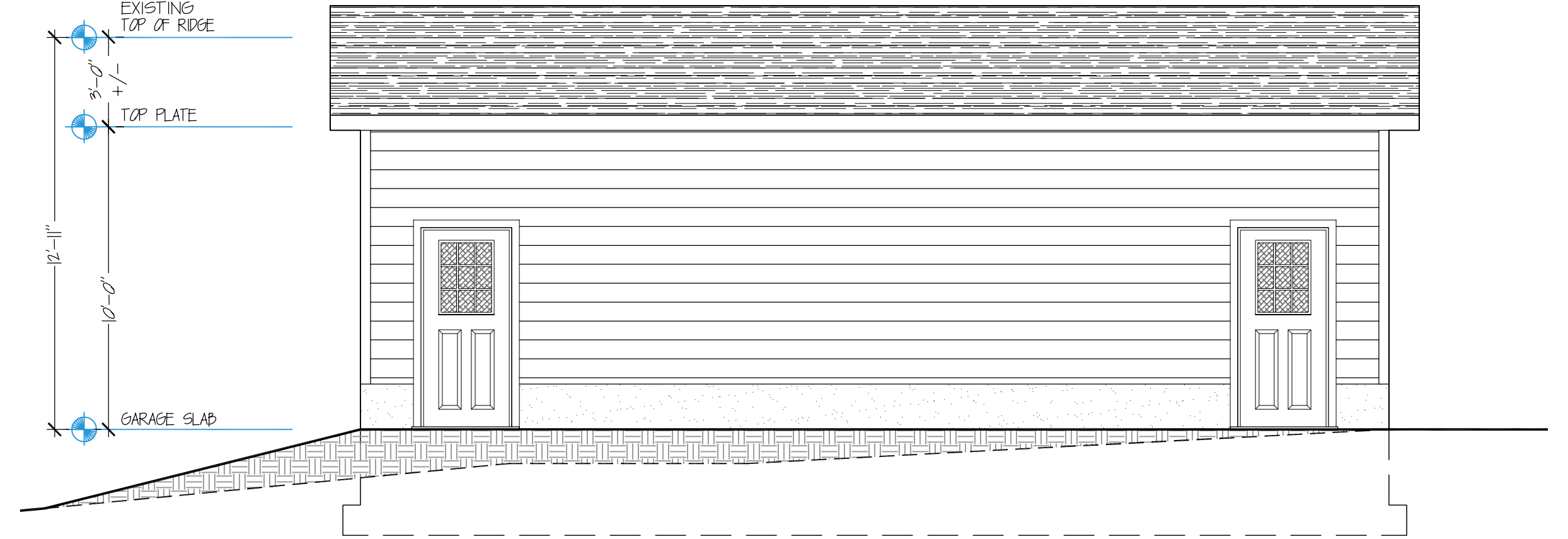
PLAN LEGEND

 NEW CMU FOUNDATION WALL - SEE WALL DETAIL FOR ADDL INFO
 NEW EXTERIOR WALL CONSTRUCTION (AS PER OWNER) ON TYMEX BLDG WRAP, 3/8" CDX PLYWOOD SHEATHING ON 2x4 WOOD STUDS @ 16" OC W/ R-11 BATT INSULATION & 3/8" GYP BD FINISH AT INTERIOR - TYP UNLESS OTHERWISE NOTED ON PLANS
 LINE OF NEW STRUCTURE ABOVE

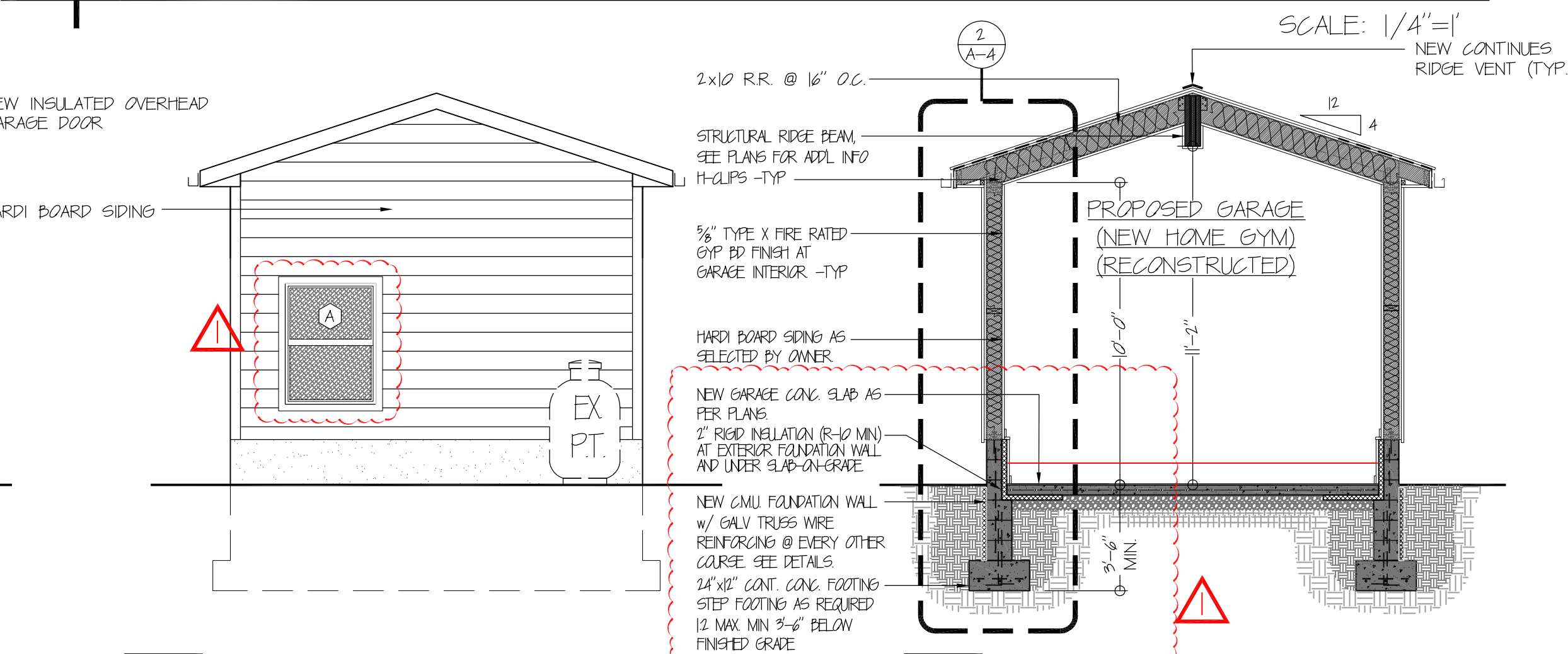


2 GARAGE CONSTRUCTION PLAN

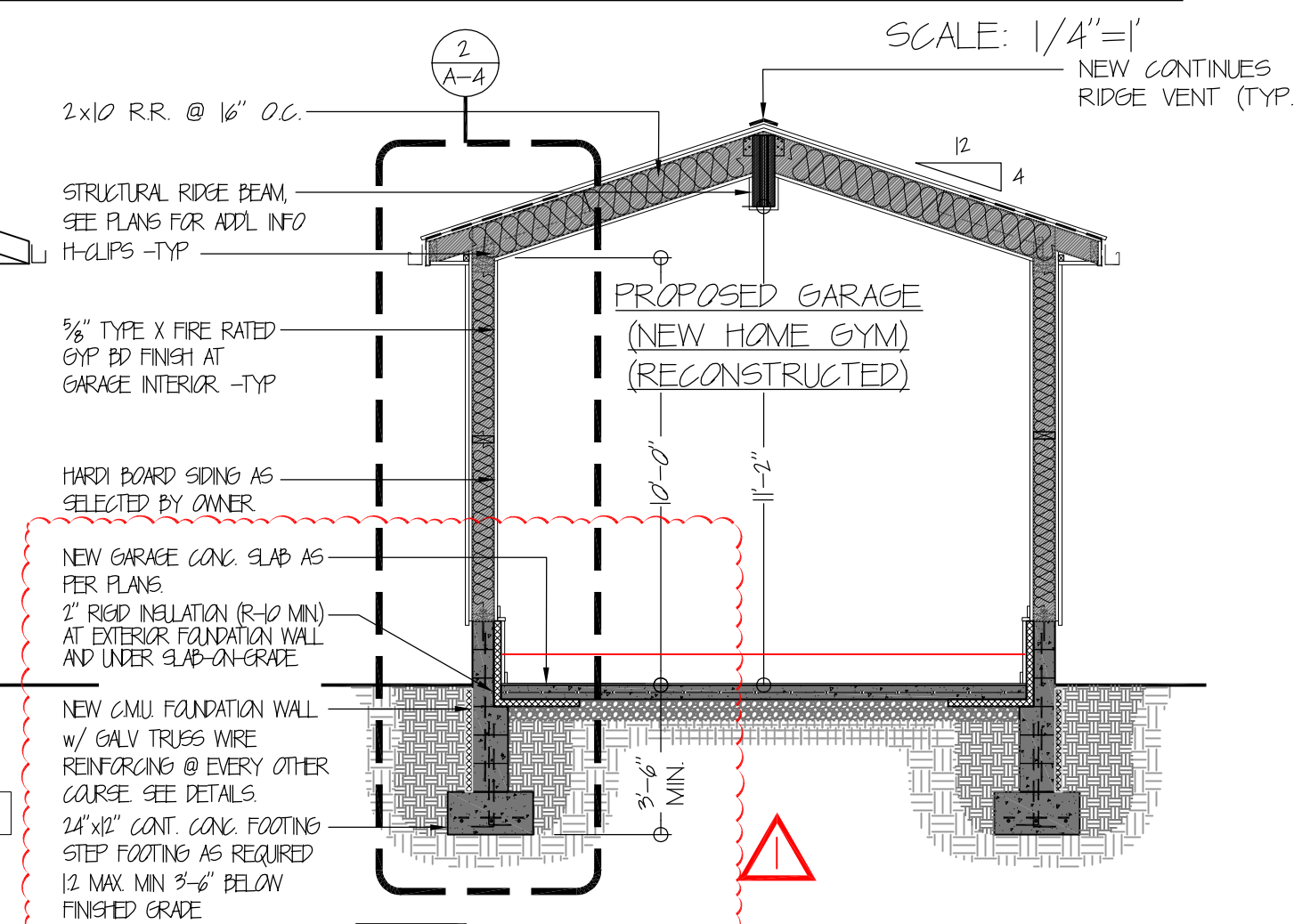
5 FRONT ELEVATION
 SCALE: 1/4"=1'
 NEW INSULATED OVERHEAD GARAGE DOOR
 HARDI BOARD SIDING
 EXISTING INSULATED GARAGE DOOR TO BE INSTALLED WITH ULTRA SEAL GARAGE DOOR WEATHER STRIPPING OR EQUAL
 EXISTING DRIVEWAY (TO REMAIN)
 NEW AHU WALL MOUNTED CONDENSING UNIT ABOVE DOOR, SEE MEP PLANS FOR ADDL INFO
 NEW INSULATED ENTRY DOOR AS PER OWNER - TYP, 3'-6" x 6'-6" CONCRETE LANDING PAD - TYP



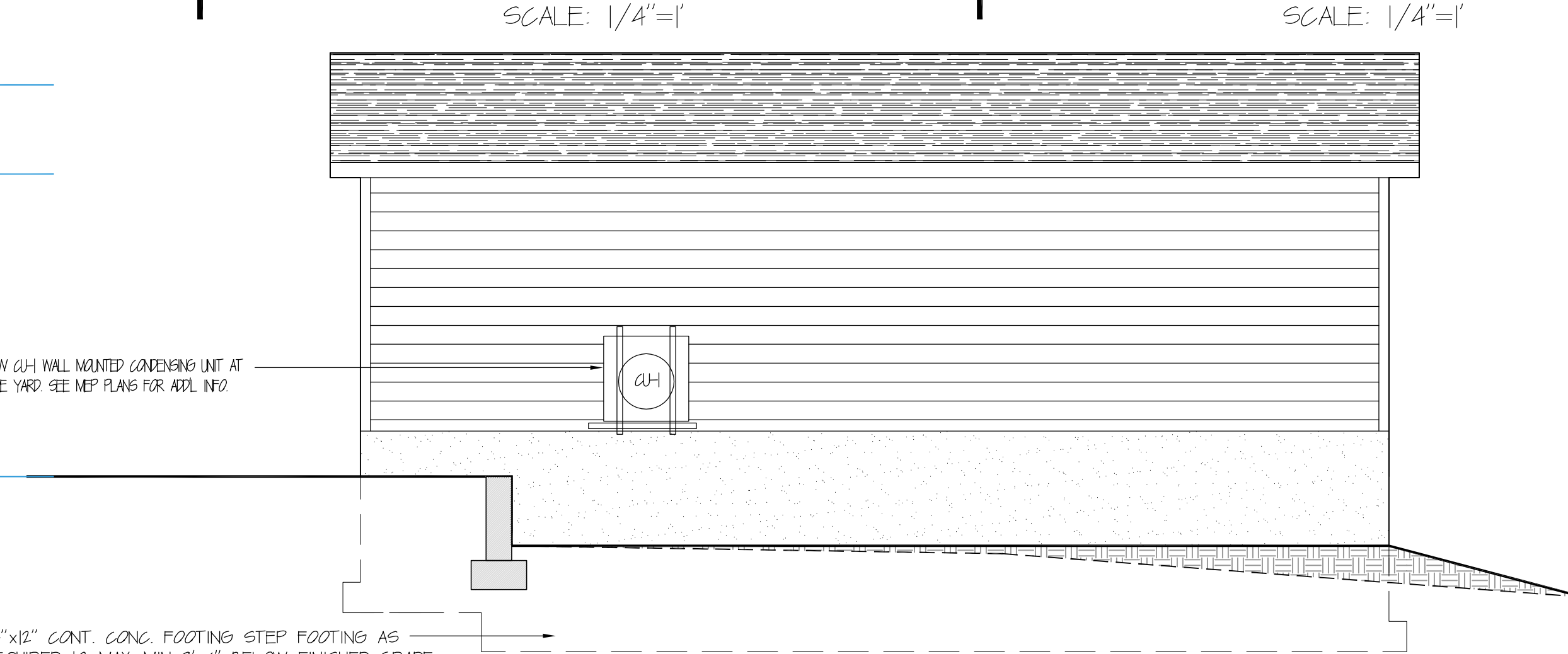
4 RIGHT SIDE ELEVATION



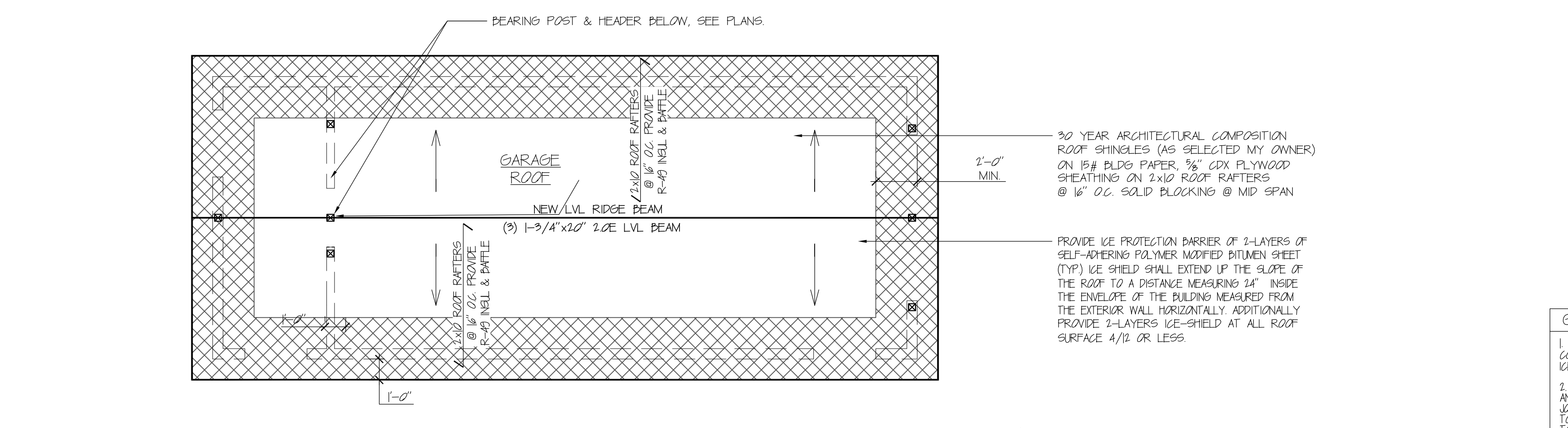
6 REAR ELEVATION



7 BUILDING SECTION

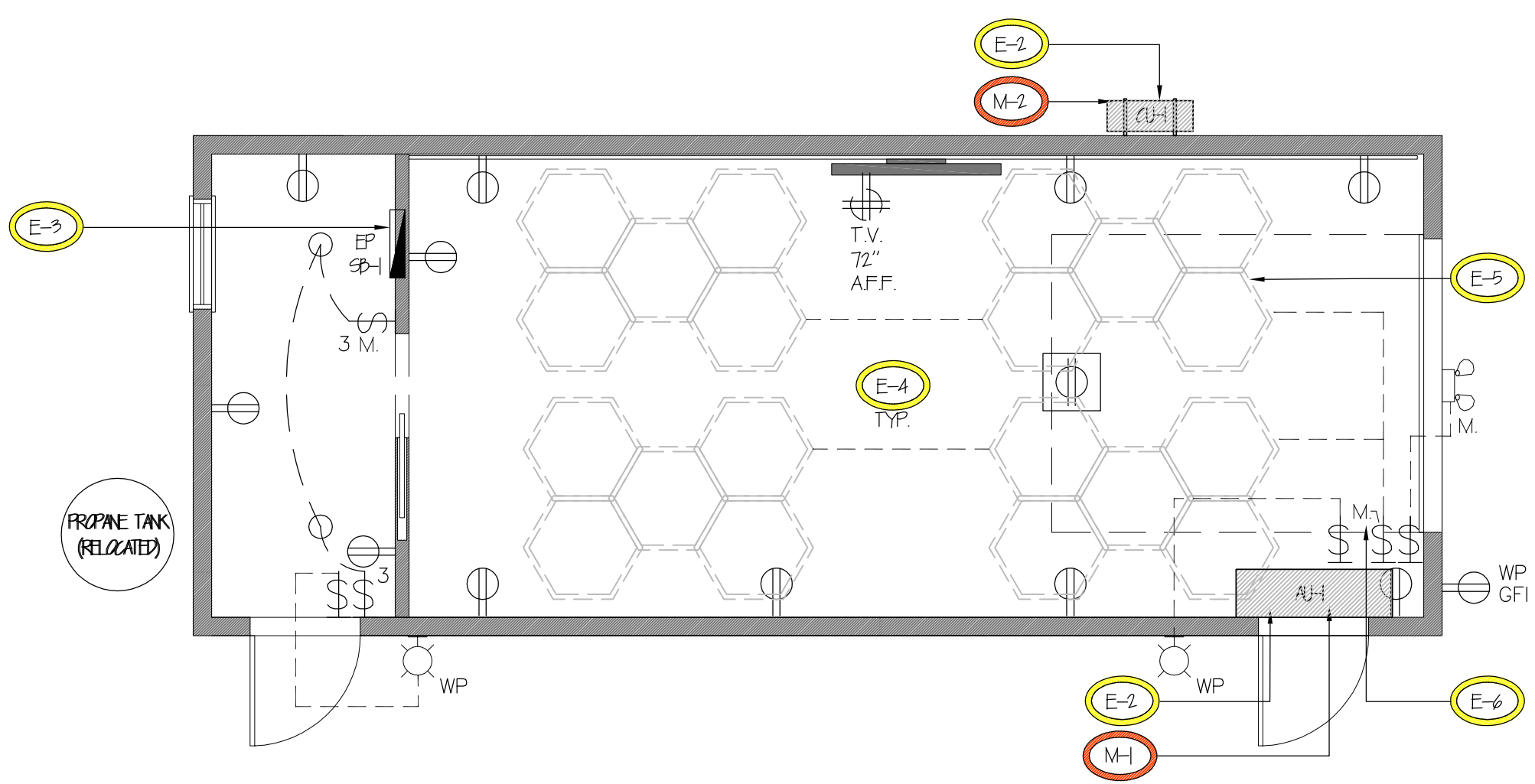


8 LEFT SIDE ELEVATION



3 GARAGE ROOF CONSTRUCTION PLAN

GENERAL ROOF NOTES:
 1. PROVIDE MIN 18" WEATHER-WATCH® SELF-ADHERING ICE-SHIELD BY GAF CORP. OR APPROVED EQUIVALENT AT VALLEYS (MIN 18" RETURN) RETURN ICE-SHIELD MIN 18" ON ALL VERTICAL WALLS (TYP)
 2. ALL COLLARS OR SOLID FRAMING SHALL EXTEND DOWN THRU ALL LEVELS AND TERMINATE AT FOUNDATION DESIGNED TO CARRY LOAD ALL CEILING JOISTS AND RAFTER BRACING TO BEAR ON LOAD BEARING WALLS DESIGNED TO CARRY LOAD THRU ALL LEVELS AND TERMINATE AT FOUNDATION DESIGNED TO CARRY LOAD
 3. PROVIDE COLLAR TIES AT LOWER 1/3 OF VERTICAL DISTANCE BETWEEN RIDGE BEAM AND CEILING JOISTS
 4. HP VALLEY RAFTERS AND RIDGE BEAMS SHALL BE ONE 2"x" SIZE LARGER THAN RAFTERS OR AS OTHERWISE INDICATED ON PLANS
 5. WALL AND ROOF SHEATHING: ROOF SHEATHING SHALL BE 5/8" CDX PLYWOOD 1/2" UN. FOR A MAXIMUM SPAN OF 24". GAPS B/W PLYWOOD PANELS SHALL BE 1/8"
 6. SOLID SAWN ROOF FRAMING SIZE AND SPACING SHALL BE AS PER PLAN ALL WOOD SHALL BE DOUGLAS FIR COMMON GRADE MAX RIDGE/ LEADER BOARD SHALL BE THICK AND DEPTH SHALL BE NOT LESS THAN CUT END OF RAFTER. SOLID BLOCKING SHALL BE PROVIDE AT MID SPAN BUT SHALL NOT DISRUPT AIR FLOW
 7. PROVIDE METAL CONT. FLASHING AT ALL ROOF/WALL INTERSECTIONS (TYP)
 8. INSTALL NEW ALUMINUM GUTTERS AND LEADER AT ALL ROOF EDGES. GUTTER PROFILE TO BE SELECTED BY OWNER. SOLDER ALL GUTTER SEAMS AND JOINTS
 9. PROVIDE DOUBLE 2x8 STRONGBACK AT MID SPAN FOR CEILING JOISTS/COLLAR TIES WITH SPAN GREATER THAN 12'-0"
ROOF NOTES:
 ROOF NOTE:
 O.C. TO MAINTAIN STRUCTURAL INTEGRITY OF EXISTING ROOF & SEQUENCE WORK AS REQUIRED TO MAINTAIN SAME. DO NOT LOAD ROOF WITH SHINGLES PRIOR TO COMPLETION OF ALL FRAMING.
 FLASHING NOTE:
 O.C. TO PROVIDE & INSTALL MIN 12" FLASHING @ ROOF & EXTERIOR WALL CONNECTIONS
 GUTTER NOTE:
 PROVIDE STANDARD OSEE SEAMLESS ALUM GUTTERS & LEADERS. CONNECT TO RAIN GARDEN TYPICAL



MECHANICAL & ELECTRICAL DIAGRAM

SCALE: 3/4"=1'

PROVIDE PROTECTION BARRIER OF 3-LAYERS OF SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET (TYP) V/G SHELD SHALL EXTEND UP THE SLOPE OF THE ROOF TO A DISTANCE MEASURING 24" INSIDE THE ENVELOPE OF THE BUILDING MEASURED FROM THE EXTERIOR WALL HORIZONTALLY.

PROVIDE HURRICANE CLIPS AT EACH REPIET, SEE DETAIL.
6" WOOD FASCIA BD. w/ ALUMINUM CLADDING (TYP.)
STANDARD OSEB SEAMLESS ALUMINUM GUTTERS & LEADERS (MATCH EXISTING) LEADERS TO CONNECT TO EXISTING DRAINAGE PIPES TO EXISTING DRYWELL.
VINYL SOFFIT (VENTED) - TYP.

(2) 2x6 TOP PLATE - TYP.
PROVIDE R-49 CLOSED CELL INSULATION
HARDI BORD SIDING ON TYVEX BLDG WRAP 3/4" CDX PLYMD SHEATHING ON 2x6 WOOD STUDS @ 16" O.C. (w/ R-21 DATT INSULATION 5/8" TYPE X FIRE RATED GYP BD FINISH AT INTERIOR FACE
PROVIDE 2 x 6 BLOCKING AT MID HEIGHT

5" CONCRETE SLAB w/ 6x6 1/16 W/W/M ON VAPOR BARRIER (6 MIL MIN), 6" GRAVEL BASE COMPACTED IN 6" LAYERS MAX (E.G. TO PROVIDE & INSTALL EXPANSION JOINT AT CONG. SLAB PERIMETER)
1/2" GALV STEEL ANCHOR BOLTS @ 48" O.C. MAX
2x6 SILL PLATE ON FOAM GASKET - TYP.
6" CMU FOUNDATION WALL w/ G/ALV TRUSS WIRE REINFORCING @ EVERY OTHER COURSE

2" RIGID NEELLATION (R-10 MIN) AT EXTERIOR FOUNDATION WALL AND UNDER SLAB-ON-GRADE (MIN 24" HORIZ & VERT) PROVIDE TO TOP OF 6" CMU @ INTERIOR
APPROXIMATE LINE OF EXISTING GRADE PITCH 3/4" AWAY FROM FOUNDATION.

(1) #5 VERTICAL REBAR @ 24" O.C.
(2) #5 "S" BENDS @ 24" O.C. (24" MIN LP INTO FOUNDATION WALL)
10" CMU FOUNDATION WALL w/ G/ALV TRUSS WIRE REINFORCING @ EVERY OTHER COURSE
24"x12" CONTINUOUS CONG. FOOTING w/ (3) #5 REBAR BOTHWAYS AT BOTTOM. (BOTTOM OF FTG @ 3'-6" MIN BELOW GRADE) PROVIDE BONDING AS PER NATIONAL ELECTRICAL CODE.

UNDISTURBED SOIL

WALL SECTION

SCALE: 3/4"=1'

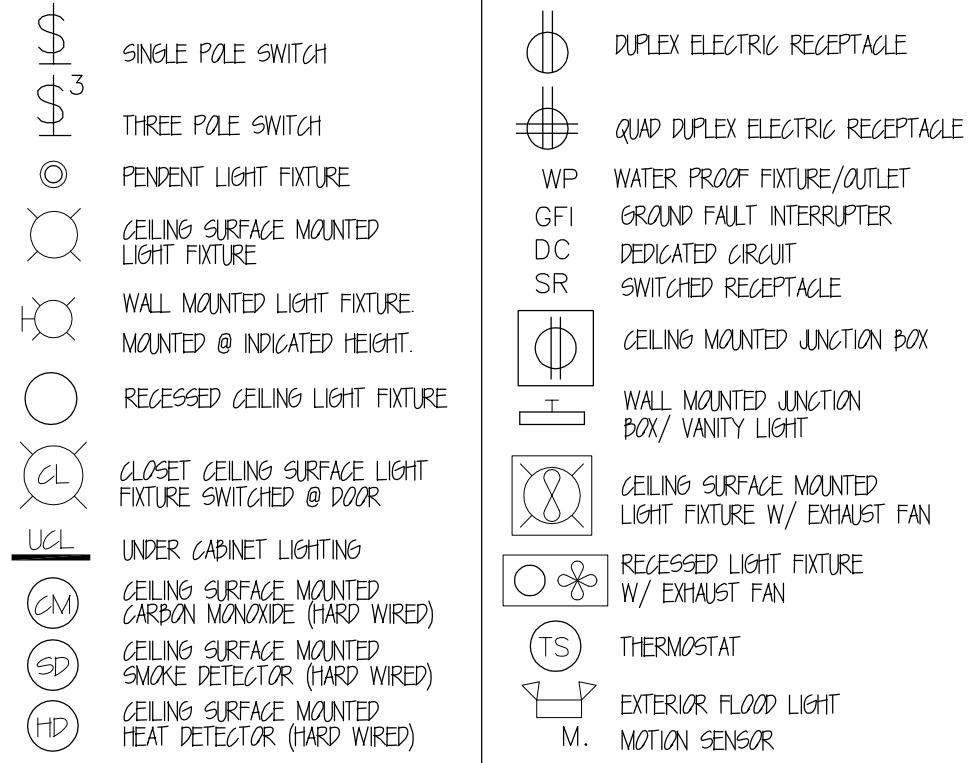
GENERAL MECHANICAL TESTING NOTES:

- AS PER RA2412 TESTING THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET ACC 300, ASTM E779 OR ASTM E907 AND REPORTED AT A PRESSURE OF 02 INCH WG (50 PASCALS). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE DURING TESTING.
- EXTERIOR WINDOWS AND DOORS, FIREPLACE AND STOVE DOORS SHALL BE CLOSED BUT NOT SEALED BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INfiltrATION CONTROL MEASURES
- DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, PACKWART AND FLE DampERS SHALL BE CLOSED BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES
 - INTERIOR DOORS WHERE INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN
 - EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED
 - HEATING AND COOLING SYSTEMS WHERE INSTALLED AT THE TIME OF THE TEST, SHALL BE TURNED OFF
 - SUPPLY AND RETURN REGISTERS, WHERE INSTALLED AT THE TIME OF THE TEST, SHALL BE FULLY OPEN
- WHERE REQUIRED BY THE BUILDING OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE PREPARED AND SIGNED BY THE

- PARTY CONDUCTING THE TEST AND PROVIDED TO THE BUILDING OFFICIAL. THE WRITTEN REPORT SHALL INCLUDE:
- THE NAME AND PLACE OF BUSINESS OF THE PARTY CONDUCTING THE TEST.
 - THE ADDRESS OF THE BUILDING THAT WAS TESTED.
 - THE CONDITIONED FLOOR AREA OF THE DWELLING (CALCULATED IN ACCORDANCE WITH ANSI/ASHRAE 228) EXCEPT THAT CONDITIONED FLOOR AREA SHALL INCLUDE AREAS WHERE THE CEILING HEIGHT IS LESS THAN 5 FEET (1524 MM).
 - MEASUREMENT OF THE AIR VOLUME LOST AT AN INTERVAL PRESURIZATION OF 02 INCHES WG (50 PASCALS).
 - THE DATE(S) OF THE TEST.
 - A CERTIFICATION BY THE PARTY CONDUCTING THE TEST OF THE ACCURACY OF THE TEST RESULTS, AND 7. THE SIGNATURE OF THE PARTY CONDUCTING THE TEST.
- (M) RA2412, OPTIONAL TESTING PROCEDURE FOR BUILDINGS WITH TWO OR MORE DWELLING UNITS WITHIN THE BUILDING THERMAL ENVELOPE, WHERE TWO OR MORE DWELLING UNITS ARE LOCATED WITHIN THE BUILDING THERMAL ENVELOPE OF A BUILDING, THE TESTING PROCEDURE SPECIFIED IN SECTION RA2412 SHALL BE PERMITTED AS AN ALTERNATIVE TO COMPLY WITH SECTION RA2412.
- RA2323 DUCTS
DUCTS AND AIR HANDLERS SHALL BE INSTALLED IN ACCORDANCE WITH

- SECTIONS RA2321 THROUGH RA2327.
RA2323 DUCT TESTING (MANDATORY)
DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:
- ROUGH-IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 01 INCH WG (25 PA) ACROSS THE SYSTEM INCLUDING THE MANUFACTURERS AIR HANDLER ENVELOPE IF INSTALLED AT THE TIME OF THE TEST. REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
 - POST-CONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 01 INCH WG (25 PA) ACROSS THE ENTIRE SYSTEM INCLUDING THE MANUFACTURERS AIR HANDLER ENVELOPE. REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
- EXCEPTIONS:
1. A DUCT AIR-LEAKAGE TEST SHALL NOT BE REQUIRED WHERE THE DUCTS AND AIR HANDLERS ARE LOCATED ENTIRELY WITHIN THE BUILDING THERMAL ENVELOPE.
2. A DUCT AIR-LEAKAGE TEST SHALL NOT BE REQUIRED FOR DUCTS SERVING HEAT OR ENERGY RECOVERY VENTILATORS THAT ARE NOT INTEGRATED WITH DUCTS SERVING HEATING OR COOLING SYSTEMS. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE BUILDING OFFICIAL.

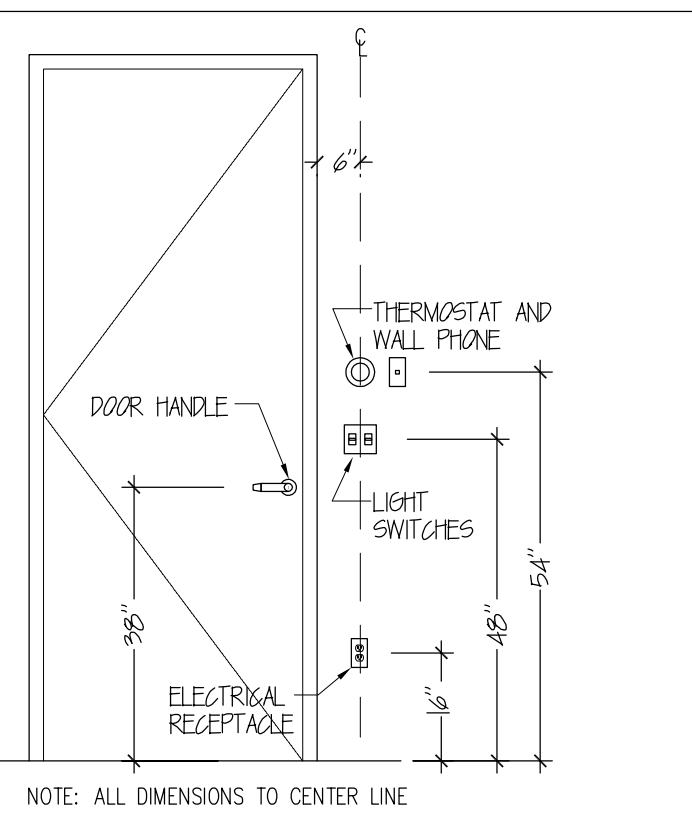
ELECTRICAL LEGEND



ELECTRICAL CONSTRUCTION NOTES

ITEM	DESCRIPTION	(E-#)
E-1	AS PER SECTION NIGL41 (R404.1) LIGHTING EQUIPMENT (MANDATORY) NOT LESS THAN 90 PERCENT OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICIENCY LAMPS.	
E-2	E.G. TO PROVIDE DEDICATED CIRCUIT AS READ BY PROPOSED EVAPORATOR & CONDENSING UNIT - TYPICAL. SEE SCHEDULES FOR POWER REQUIREMENTS.	
E-3	E.G. TO PROVIDE NEW 100 AMP ELECTRICAL PANEL SUB PANEL SP4 AS PER PLANS E.G. TO VERIFY ELECTRICAL LOAD REQUIRED WITH READ "SPARE" SPACE PRIOR TO INSTALLING PANEL.	
E-4	ELECTRICAL CONTRACTOR (E/C) TO PROVIDE AND INSTALL ALL ELECTRICAL ROUGH-IN WIRING, BOXES, PANELS, RECEPTILES & FIXTURES COORDINATE THIRD PARTY INSPECTION & INSTALL AS SET FORTH IN THE 2020 RESIDENTIAL BUILDING CODE OF NEW YORK STATE & NFA 10, NATIONAL ELECTRICAL CODE (NEC), CURRENT ADDITION - TYPICAL.	
E-5	OWNER TO PROVIDE & ELECTRICAL CONTRACTOR (E/C) TO INSTALL HEAVYLOW LIFTING KITS (AS PER PLANS, MANUFACTURE SPECIFICATIONS 2020 RESIDENTIAL BUILDING CODE OF NEW YORK STATE & NFA 10, NATIONAL ELECTRICAL CODE (NEC), CURRENT ADDITION.	
E-6	ELECTRICAL CONTRACTOR (E/C) TO PROVIDE (AS APPROVED BY OWNER) AND INSTALL MOTION SENSOR LIGHT SWITCHES AS PER PLANS, MANUFACTURE SPECIFICATIONS 2020 RESIDENTIAL BUILDING CODE OF NEW YORK STATE & NFA 10, NATIONAL ELECTRICAL CODE (NEC), CURRENT ADDITION.	
E-7		

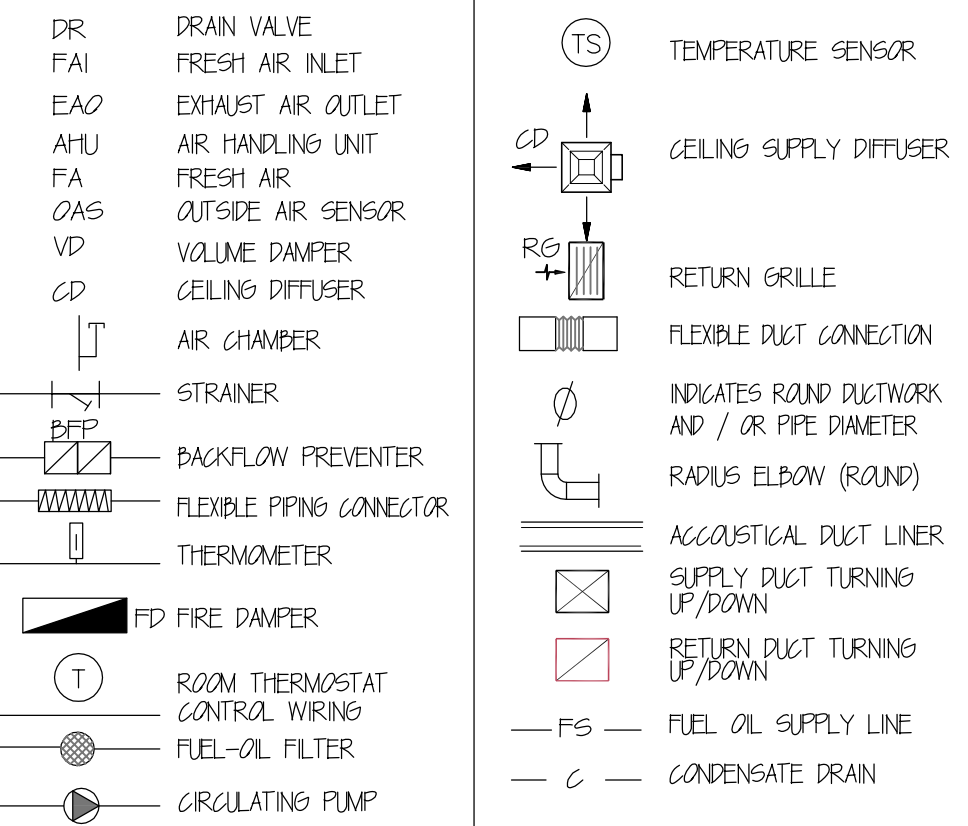
TYP. MOUNTING HEIGHTS DETAIL



GENERAL ELECTRICAL NOTES

- ALL ELECTRICAL WORK SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE AND THE LOCAL REGULATIONS THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMANCE WITH THESE REQUIREMENTS WHETHER OR NOT SUCH WORK IS SPECIALLY SHOWN ON THE DRAWINGS.
- FURNISHING AND INSTALLING FEEDERS, PANEL BOARDS, BRANCH CIRCUIT WIRING, WALL SWITCHES, RECEPTILES, OUTLET BOXES, PLATES, CONDUITS, WIRE AS REQUIRED.
- FURNISHING AND INSTALLING LIGHT FIXTURES AS SHOWN AND INSTALLING LIGHT FIXTURES SPECIFIED TO BE SELECTED BY OWNER.
- MATERIAL AND EQUIPMENT SHALL COMPLY WITH THE APPLICABLE CURRENT STANDARDS OF NEC, NATIONAL ELECTRICAL CODE.
- PROVIDE INDIVIDUAL BRANCH CIRCUIT FOR ANY FIXED APPLIANCES OR EQUIPMENT RATED AT MORE THAN 1400 WATTS.
- RECEPTACLE OUTLETS INSTALLED IN LAVATORIES, GARAGES, AND ALL EXTERIOR LOCATIONS SHALL BE OF THE GROUNDING TYPE.
- EXCEPT FOR WHERE OTHERWISE SHOWN ON DRAWINGS, THE MOUNTING HEIGHT FROM THE FLOOR FOR WALL SWITCHES SHALL BE 48" AND WALL RECEPTABLES SHALL BE 18"
- ELECTRICAL CONTRACTOR SHALL COORDINATE HIS WORK WITH WORK OF TRADES AND HAVE HIS WORK SCHEDULED SO AS NOT TO DELAY THE WORK OF OTHERS.
- THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION AND APPROVAL OF WIRING, INSTALLATION OF FIXTURES AND EQUIPMENT, AND FOR THE FINAL ACCEPTANCE OF THE COMPLETE ELECTRICAL INSTALLATIONS BY THE LOCAL ELECTRICAL INSPECTIONS.
- SURVEY EXISTING ELECTRICAL OUTLETS AND SWITCHES KILL ALL EXISTING AT AREAS TO BE DEMOLISHED AS PER DEMOLITION PLANS PROVIDE FOR RELOCATION OF OR NEW SWITCHES TO EXISTING SPACES TO REMAIN AS REQUIRED.
- SURVEY EXISTING ELECTRICAL SERVICE UPGRADE TO 100 AMP SERVICE WITH DEEPT METERING AT EXTERIOR OF BUILDING. RELOCATE AS NECESSARY BY PROPOSED CONSTRUCTION. COORDINATE LOCATION WITH GC AND ARCHITECT.

MECHANICAL LEGEND



MECHANICAL CONSTRUCTION NOTES

ITEM	DESCRIPTION	(M-#)
M-1	PROPOSED MINI-SPLIT WALL EVAPORATOR W/ HEAT PUMP FUJITSU MODEL: ASUGERL F (OR EQUAL & APPROVED BY OWNER) BTU/h: SEE SCHEDULES	
M-2	PROPOSED MINI-SPLIT CONDENSING UNIT TO BE WALL MOUNTED FUJITSU MODEL: AQUERLXZF (OR EQUAL & APPROVED BY OWNER) BTU/h: 18,000-22,000	
M-3	MECHANICAL CONTRACTOR TO PROVIDE SPECIFICATION SHEETS OF ALL "OWNER" APPROVED EQUIPMENT TO ARCHITECT FOR APPROVAL AND SUBMISSION TO DOB (AS REQUIRED)	
M-4	MECHANICAL CONTRACTOR TO VERIFY ALL UNIT BTU REQUIREMENTS AND NOTIFY ARCHITECT IF DIFFERENT FROM SPECIFICATIONS NOTED ON THESE PLANS.	
M-5		
M-6		
M-7		

CONDENSER SPECIFICATIONS

	AOU 18RLXZF	AOU 36RLXZF	AOU 48RLXZF	AOU 54RLXZF
Connectable Indoor Unit Number	2	2	2	2
Convenable Unit Capacity Class (ASHRAE)	14 to 21,000	14 to 21,000	21 to 28,000	24 to 34,000
Peak Cooling Capacity (Conditioning Structure)	8,000 Btu/h	16,000 Btu/h	21,000 Btu/h	28,000 Btu/h
Peak Heating Capacity (Conditioning Structure)	8,000 Btu/h	16,000 Btu/h	21,000 Btu/h	28,000 Btu/h
Cop. Operating Range °C/°F	14 to 115 / 57 to 473	14 to 115 / 57 to 473	14 to 115 / 57 to 473	14 to 115 / 57 to 473
Htg. Operating Range °C/°F	18 to 75 / 64 to 205	18 to 75 / 64 to 205	18 to 75 / 64 to 205	18 to 75 / 64 to 205
Input Power: Cooling (Rated kW/VA)	1.4/1.87	2.8/3.54	3.5/4.35	4.2/5.25
Input Power: Heating (Rated kW/VA)	2.8/3.54	5.6/7.08	7.0/8.75	8.4/10.5
Minimum Circuit Capacity (A)	15	30	45	60
Fan: Type & Quantity	Propeller x 1	Propeller x 1	Propeller x 1	Propeller x 1
Sound Pressure Level (Max. dBA)	48	50	50	50
Static Pressure (Max. in. H ₂ O)	0.8 (20)	0.8 (20)	0.8 (20)	0.8 (20)
Max. Length Total Ft./m	164 (50)	164 (50)	230 (70)	264 (80)
Min. Length Total Ft./m	82 (25)	82 (25)	82 (25)	82 (25)
Max. Length External Ft./m	49 (15)	49 (15)	65 (20)	49 (15)
Min. Length External Ft./m	16 (5)	16 (5)	16 (5)	16 (5)
Max. Pipe Height Difference Between Outdoor Line & Indoor Unit Ft./m	49 (15)	49 (15)	49 (15)	49 (15)
Max. Pipe Height Difference Between Outdoor Line & Indoor Unit Ft./m	33 (10)	33 (10)	33 (10)	33 (10)
Conen. Pipe Connection Method	Flare	Flare	Flare	Flare
Conen. Pipe Diameter (in./mm)	1/4 (6.35)	1/2 (12.7)	3/4 (19.05)	1 (25.4)
Net Height (in./mm) to Top of Unit	14 1/2 (368.3)	17 (431.8)	18 1/2 (469.9)	21 (533.4)
Dimensions: Height (in./mm)	27 3/8 (701.5)	27 3/8 (701.5)	32 1/8 (820.6)	35 1/8 (896.7)
Width (in./mm)	7 1/8 (185.4)	7 1/8 (185.4)	7 1/8 (185.4)	7 1/8 (185.4)
Depth (in./mm)	13 (330.2)	13 (330.2)	13 (330.2)	13 (330.2)
Weight (lb./kg)	18 (8.2)	36 (16.3)	45 (20.4)	54 (24.5)
As/Norm/Ref	RA15/RA16/RA17	RA15/RA16/RA17	RA15/RA16/RA17	RA15/RA16/RA17

EVAPORATOR UNIT SCHEDULE W/ HEAT PUMP

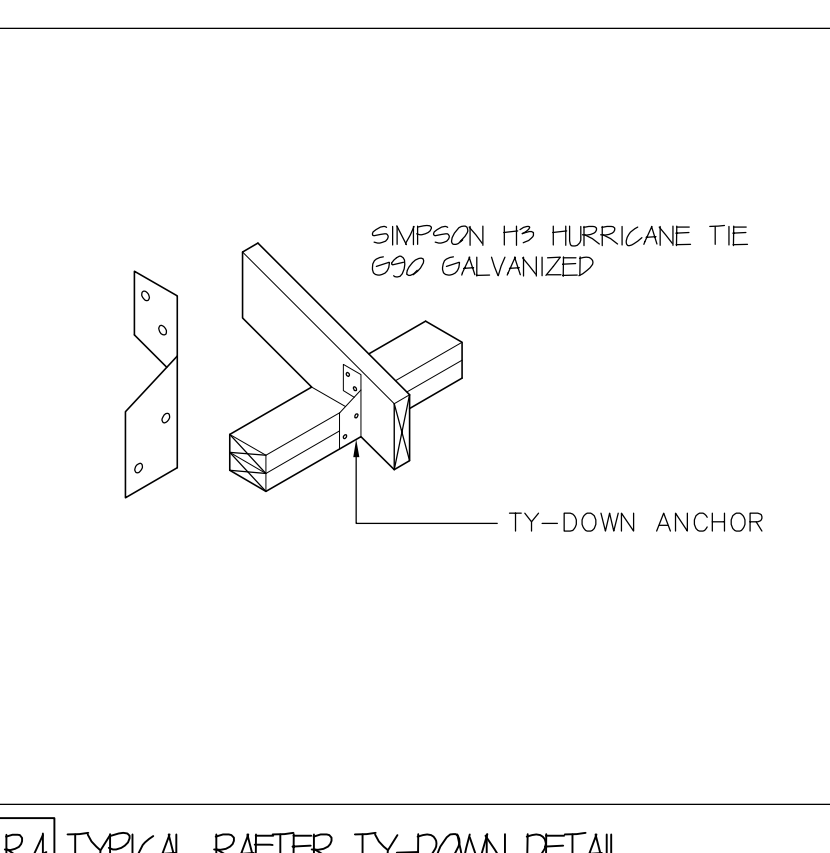
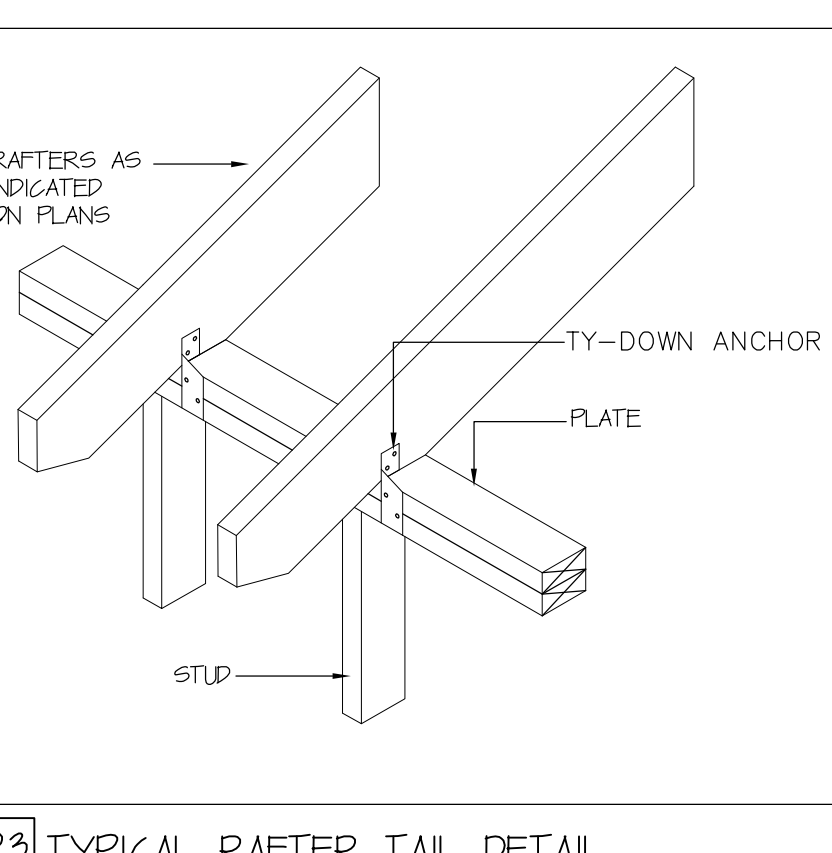
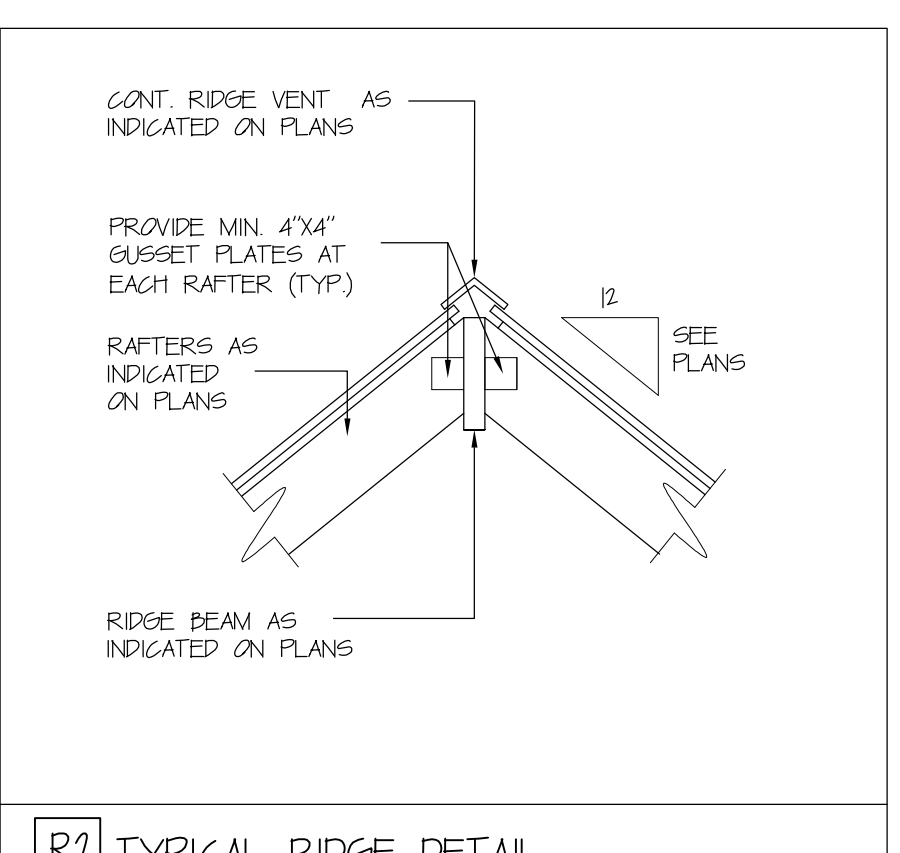
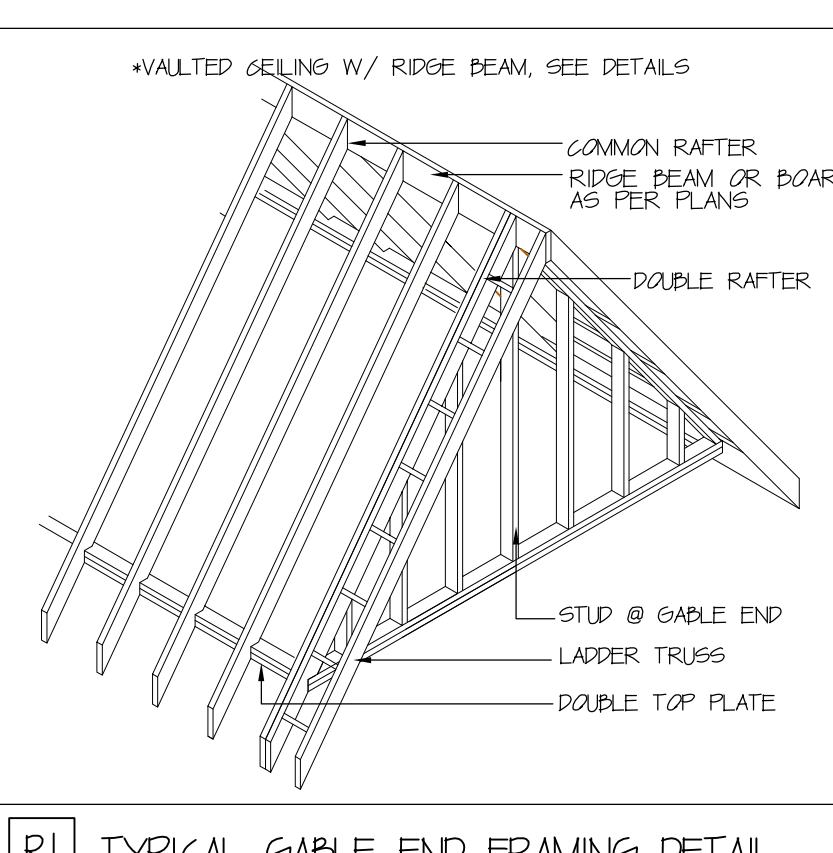
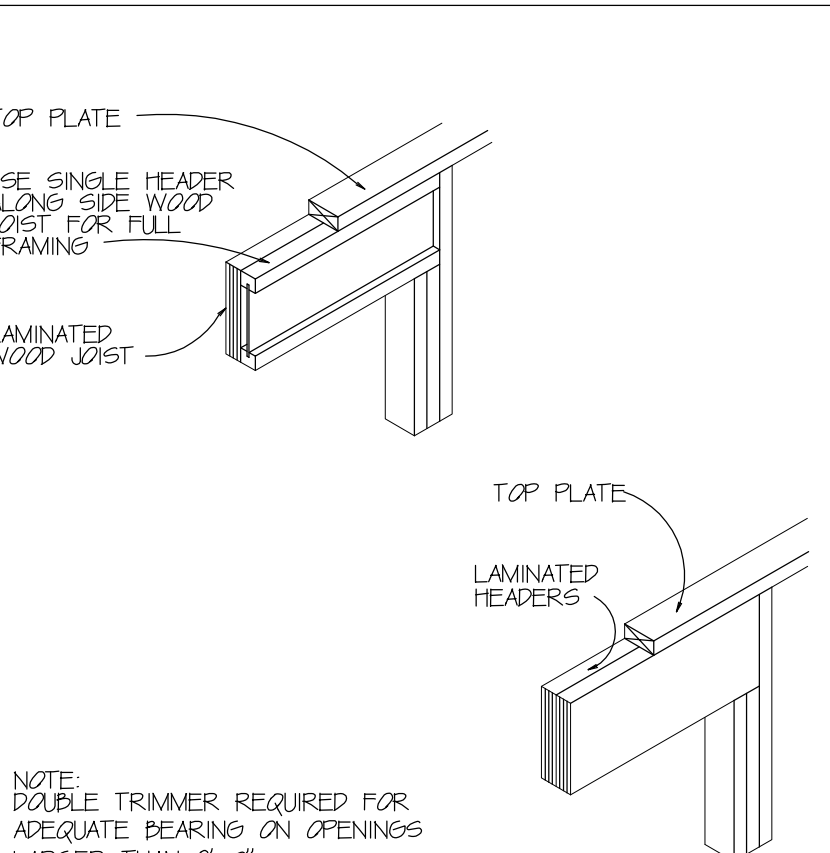
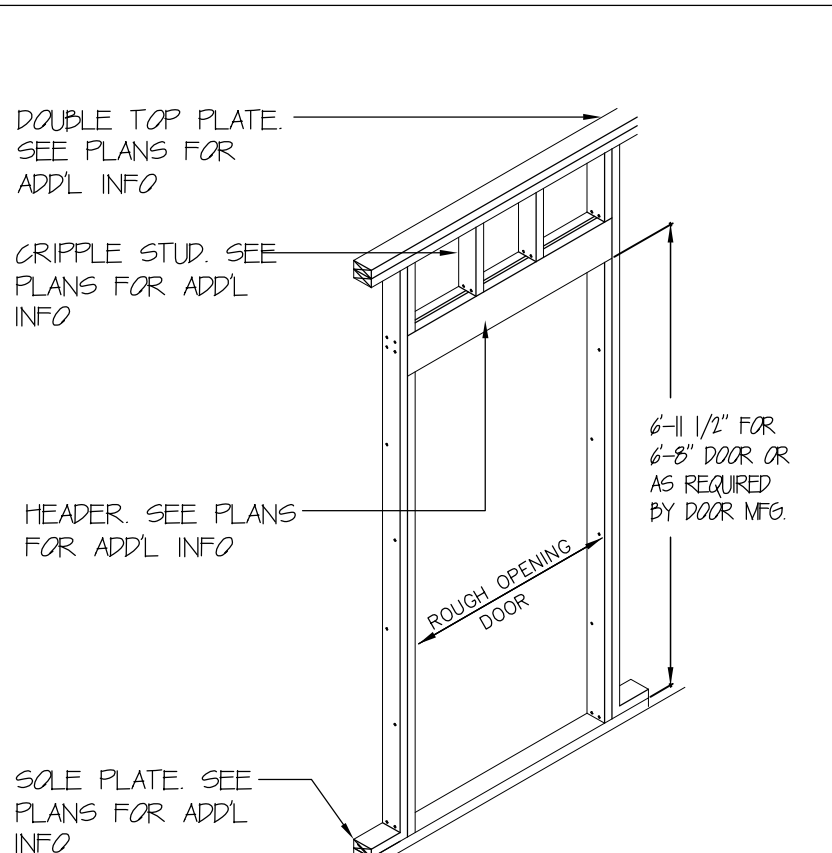
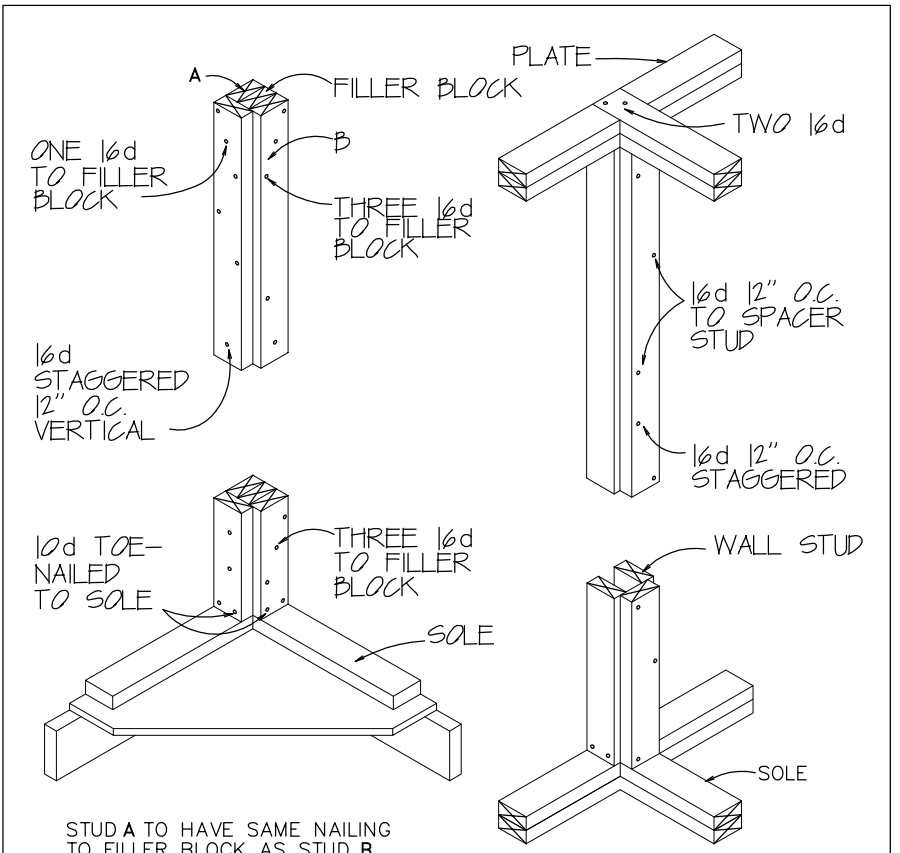
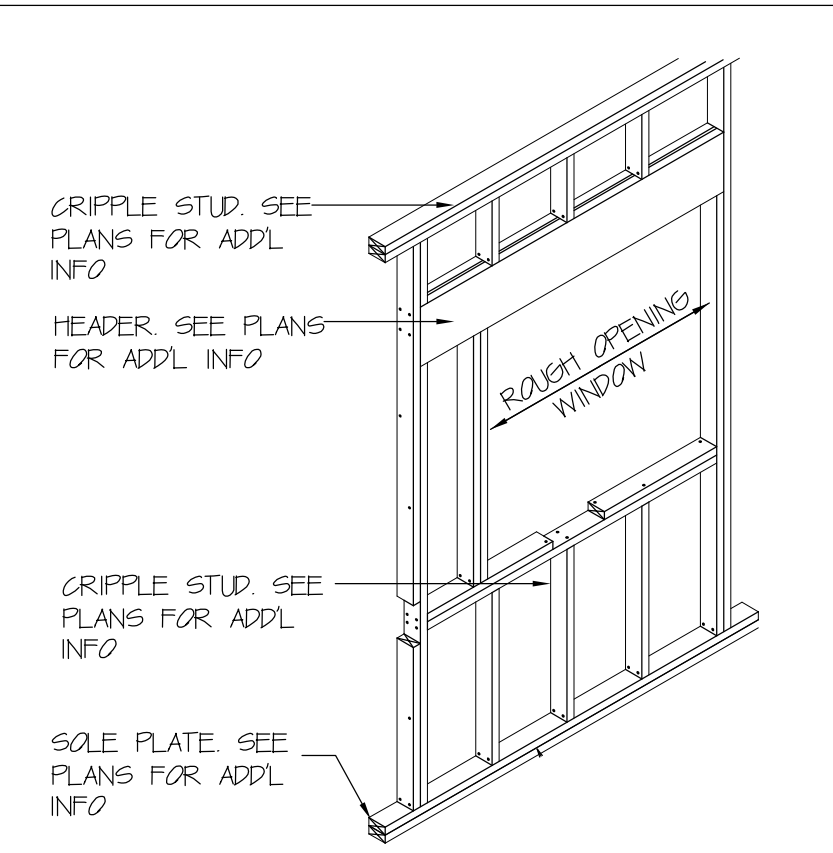
	ASUGERL F Heat Pump	ASUGERL F Heat Pump	ASUGERL F Heat Pump	ASUGERL F Heat Pump
Normal Heating BTU/h	7,000	14,000	21,000	28,000
Normal Heating kW	2,042	4,084	6,126	8,168
Max. Heating BTU/h	208,209,911	208,209,911	208,209,911	208,209,911
Max. Heating kW	60,922	60,922	60,922	60,922
Normal Cooling BTU/h	7,000	14,000	21,000	28,000
Normal Cooling kW	2,042	4,084	6,126	8,168
Max. Cooling BTU/h	208,209,911	208,209,911	208,209,911	208,209,911
Max. Cooling kW	60,922	60,922	60,922	60,922
Power Line Input (kW)	1.5	3.0	4.5	6.0
Power Line Input (kVA)	1.5	3.0	4.5	6.0
Power Line Input (kWh)	1.5	3.0	4.5	6.0
Power Line Input (kVAr)	1.5	3.0	4.5	6.0
Power Line Input (kVAh)	1.5	3.0	4.5	6.0
Power Line Input (kVArh)	1.5	3.0	4.5	6.0
Power Line Input (kVAh)	1.5	3.0	4.5	6.0
Power Line Input (kVArh)	1.5	3.0	4.5	6.0
Power Line Input (kVAh)	1.5	3.0	4.5	6.0
Power Line Input (kVArh)	1.5	3.0	4.5	6.0
Power Line Input (kVAh)	1.5	3.0	4.5	6.0
Power Line Input (kVArh)	1.5	3.0	4.5	6.0
Power Line Input (kVAh)	1.5	3.0	4.5	6.0
Power Line Input (kVArh)	1.5	3.0	4.5	6.0
Power Line Input (kVAh)	1.5	3.0	4.5	6.0
Power Line Input (kVArh)	1.5	3.0	4.5	6.0
Power Line Input (kVAh)	1.5	3.0	4.5	6.0
Power Line Input (kVArh)	1.5	3.0	4.5	6.0

CONDENSER SCHEDULE

UNIT #	MODEL	MANUFACTURE	LOCATION	BTU/h
04-H	AOU 18RLXZF	FUJITSU	OUTDOOR GARAGE	18,000

EVAPORATOR UNIT SCHEDULE W/ HEAT PUMP

UNIT #	MODEL	MANUFACTURE	LOCATION	BTU/h
EV-1	ASUGERL F	FUJITSU	GARAGE INTERIOR	18,000



Robert J. Keeler, R.A.
37 Luigi Road
Putnam Valley, NY 10579
Tel: (845) 494-7555
Email: robert@keelerarchitecture.com

GARAGE REPLACEMENT & ADDITION FOR GOTAY RESIDENCE
12 FRANCES DRIVE
MONTROSE, NY 10548

Drawings The WALL SECTION & DETAILS MEP NOTES
General Note: The manufacturer of any equipment shown on these drawings shall remain the responsibility of the manufacturer. Any reproduction or use in whole or in part without the written authorization of Keeler Architecture P.C. is prohibited.
This document is intended solely for the construction of the project named herein and shall not be used for any other construction without the written permission of Keeler Architecture P.C.



Date	Description
01-29-25	DOE COMMENTS
02-14-24	FILED SET

Scale: AS NOTED
Drawn By: R.K.
Job No.: 24605

A-4

ZONING BOARD OF APPEALS FACT SHEET

ZBA Member Assigned: **Piccolo-Hill**

CASE NO.: 2025-5

Name of Applicant: 77 Montrose Station, LLC
Owner: Same
Address of property: 77 Montrose Station Rd.
Section, Block, Lot: 44.17-1-11
Prior ZBA Case No.: N/A
Zone: R-80
Lot Size: Approximately 8.1 acres

Request: Detached Building Height. 7.0’ allowed from eaveline (top of wall) to the roof ridge, 12’-8” proposed requiring a variance for 5’-8”.

Accessory Structure not permitted in the Front Yard.

Staff Comments: The Code Enforcement office received a building permit application on September 27, 2024 for a residential remodel/alteration at the subject property for the construction of a proposed garage. The Code Office denied the request on February 25, 2025. The garage is proposed to have a building height of 12.8 feet from the eaveline to the roof ridge, and only 7 ft. is permitted. According to the applicant the increase in height is a better architectural treatment for the garage and is in keeping with the architectural character of the newly renovated house on the subject lot.

In addition, the foundation for the proposed garage has already been partially constructed. Based on the survey location of the existing foundation the garage will be located in the defined front yard to Montrose Station Rd. The existing house is located 583.94 ft. from Montrose Station Road and the garage is proposed to be located 551.94 ft.

Variance(s) Requested: Detached Building Height. 7.0’ allowed from eaveline (top of wall) to the roof ridge, 12’-8” proposed requiring a variance for 5’-8”.

Accessory Structure not permitted in the Front Yard.

	<u>REQUIRED</u>	<u>PROPOSED</u>	<u>VARIANCE</u>	<u>%</u>
Detached building height	7 ft.	12.8 ft.	5.8 ft.	83%
Accessory structure in the Front Yard		NA	NA	NA

SEQR: TYPE II – No further compliance required



TOWN OF CORTLANDT
DEPARTMENT OF TECHNICAL SERVICES
CODE ENFORCEMENT DIVISION

Michael Preziosi, P.E.
Director – D.O.T.S

Martin G. Rogers, P.E.
*Director of Code
Enforcement / D.O.T.S.*

Holly Haight
*Assistant Director of Code
Enforcement / D.O.T.S.*

Town Hall, 1 Heady Street
Cortlandt Manor, NY 10567
Main #: 914-734-1010
Fax #: 914-293-0991

Town Supervisor
Richard H. Becker

Town Board
James F. Creighton
Cristin Jacoby
Robert E. Mayes
Joyce C. White

Mark Giordano
1340 Baptist Church Road
Yorktown Heights, NY 10598

February 25, 2025

Re: Proposed Garage
77 Montrose Station Road
Tax ID 44.17-1-11

Mr. Giordano:

I am in receipt of your proposed amendment for Building Permit A-24-749 issued September 27, 2024 for Residential Remodel/Alteration at the above referenced premises.

I must deny this request under the following chapter of the Town of Cortlandt Zoning Code: 307-17 Table of Dimensional Regulations Accessory Residential Structures;

Detached Building Height. Request for a variance from the Code is required. 7.0' allowed from eaveline (top of wall) to the roof ridge, 12'-8" proposed requiring a variance for 5'-8".

Accessory Structures are not permitted in the Front Yard. Section 307-17, 307 Attachment 3, Table of Dimensional Regulations, Residential Districts.

The Zoning Board of Appeals application shall be completed online. If the application is deemed complete additional instructions will follow and then the project will then be placed on the agenda for the next available Zoning Board of Appeals meeting.

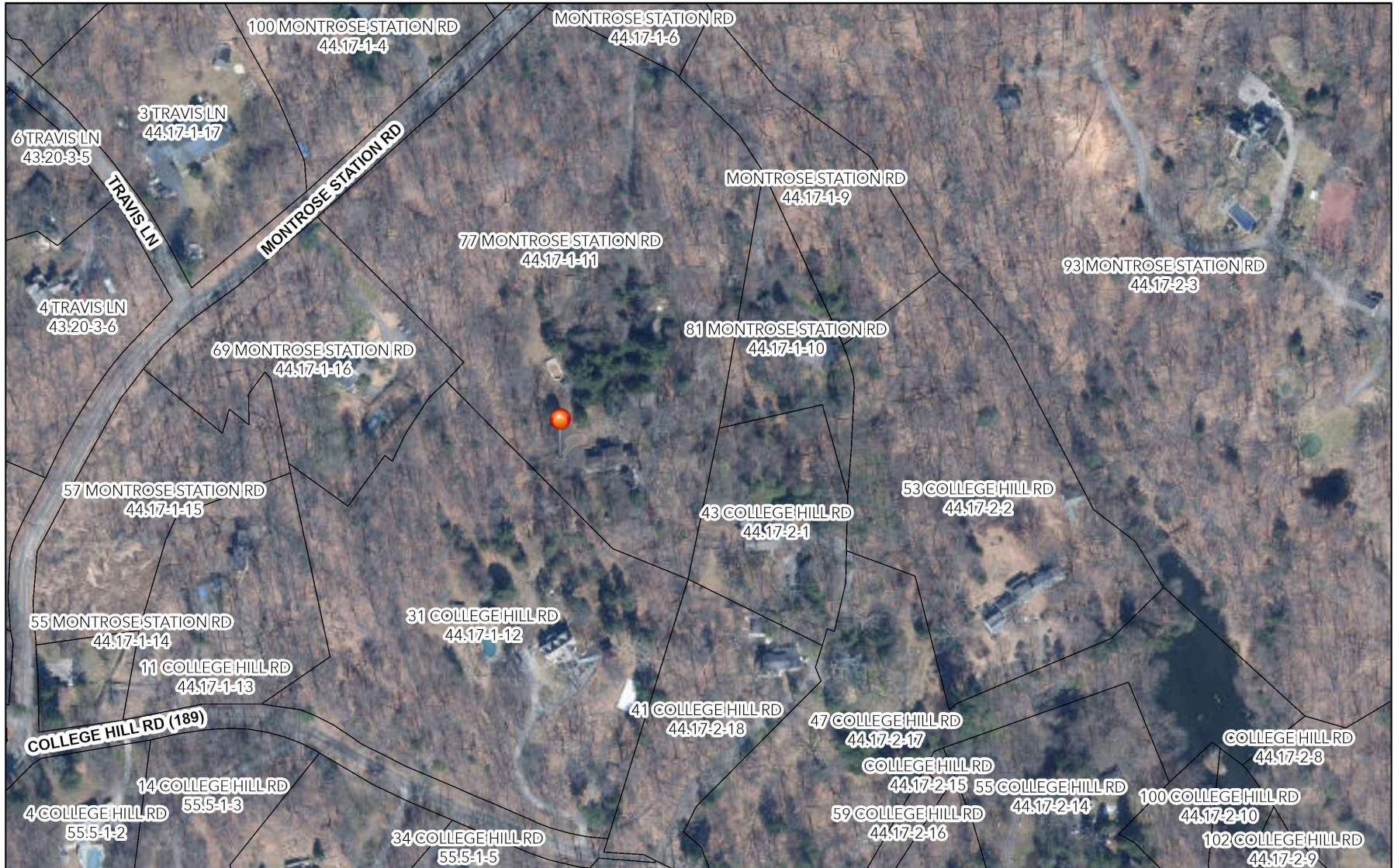
Additional information may be required upon subsequent reviews. Technical comments for the submission may be issued separately. If you have any questions or comments please feel free to contact me by email or at 914-734-1010.

Sincerely,

Martin G. Rogers, P.E.
Director of Code Enforcement
Department of Technical Services

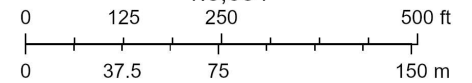
Cc: Chris Kehoe, Town Planner

Cortlandt



3/17/2025, 1:53:57 PM

1:3,634



New York State, Maxar



TOWN OF CORTLANDT GENERAL NOTES

- DISTURBANCE OF ROCK OUTCROPS SHALL BE BY MEANS OF EXPLOSIVE ONLY IF LABOR AND MACHINES ARE NOT EFFECTIVE AND ONLY IF ROCK BLASTING IS CONDUCTED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS OF THE TOWN OF CORTLANDT AND THE STATE OF NEW YORK.
- ALL OF THE INFORMATION ON THE PROPOSED HOUSE PLANS IS CONSISTENT WITH THIS SITE DEVELOPMENT PLAN.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS IF BLASTING IS REQUIRED.
- PRIOR TO ANY EXCAVATION, THE OWNER AND/OR CONTRACTOR SHALL CALL THE UNDERGROUND LINE LOCATION SERVICE (CODE 811/FKA CODE 753). FOR MORE INFORMATION, VISIT 'DIG SAFELY NEW YORK' AT WWW.DIGSAFELYNEWYORK.COM.

TOWN OF CORTLANDT CONSTRUCTION NOTES

- ALL TREES TO BE REMOVED SHALL BE TAGGED BY THE APPLICANT AND INSPECTED BY THE TOWN OF CORTLANDT PRIOR TO CUTTING AND A BUILDING PERMIT BEING ISSUED.
- ALL PROPOSED OR DISTURBED SLOPES 1/3H OR GREATER SHALL BE STABILIZED BY AN EROSION CONTROL BLANKET. (SEE PLAN FOR MANUFACTURER AND TYPE WHERE APPLICABLE).
- CONSTRUCTION BEYOND THE FOUNDATION MAY NOT CONTINUE UNTIL AN "AS-BUILT" FOUNDATION SURVEY WHICH INDICATES THE FOUNDATION DIMENSIONS AND THE ELEVATION OF THE TOP OF FOUNDATION IS SUBMITTED AND APPROVED BY THE TOWN OF CORTLANDT.
- NO BUILDING PERMIT FOR THE PARCEL WILL BE ISSUED UNTIL SUCH TIME THERE IS MUNICIPAL WATER AND SEWER SERVICE AVAILABLE OR A WELL AND SEPTIC PERMIT HAVE BEEN APPROVED FOR THE PARCEL.
- THE ROOF LEADERS AND FOOTING DRAINS SHALL BE SEPARATE PIPES.
- THERE SHALL BE A MINIMUM 10' SEPARATION BETWEEN THE WATER SERVICE AND THE SEWER SERVICE.
- NO RECYCLED MATERIAL (C & D) IS PERMITTED TO BE UTILIZED ON-SITE. IF RECYCLED ITEM 4 IS PROPOSED IT SHALL BE TESTED AND A CERTIFICATION LETTER PROVIDED TO THE TOWN AND ACCEPTED PRIOR TO PLACING THE MATERIAL.
- FILL TO BE IMPORTED TO THE SITE SHALL MEET THE NYSDOT STANDARDS OF UNRESTRICTED FILL AND BE DEEMED SUITABLE FOR RESIDENTIAL USE.
- ANY EXCESS MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OFF SITE IN A LAWFUL MANNER.
- ALL UTILITIES SHALL BE INSTALLED UNDERGROUND. ELECTRIC & GAS AND OTHER COMMUNICATIONS SHALL BE PER THE REQUIREMENTS OF THE INDIVIDUAL UTILITY COMPANY.
- PRIOR TO THE BACKFILLING OF ANY STORM WATER BEST MANAGEMENT PRACTICE, TOWN PLANNING BOARD ENGINEER SHALL BE NOTIFIED TO PERFORM AN INSPECTION.
- ALL REQUIRED FIELD CHANGES SHALL BE REVIEWED AND ACCEPTED BY THE TOWN OF CORTLANDT AND SHOWN ON THE AS-BUILT SURVEY AND/OR AMENDED SITE PLAN AT THE COMPLETION OF CONSTRUCTION.
- THE APPLICANT IS AWARE THAT THE ENTIRE SITE MUST BE 100% STABILIZED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. DISTURBED AREAS SHALL BE RESTORED AND STABILIZED APPROPRIATELY AND IN A TIMELY MANNER. THE APPLICANT SHALL SUBMIT A NOTICE OF TERMINATION FOR THE SPDES GENERAL PERMIT, IF APPLICABLE.
- PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE ENGINEER/ARCHITECT SHALL SUBMIT A CERTIFICATION ADDRESSED TO THE TOWN OF CORTLANDT PLANNING BOARD ENGINEER STATING THAT THE COMPLETED SITE WORK AND DRAINAGE IMPROVEMENTS WILL NOT CAUSE AN ADVERSE IMPACT ON ADJOINING OR DOWNSTREAM PROPERTIES AND HAVE BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS ON FILE WITH THE TOWN.
- PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY/COMPLIANCE, AN AS-BUILT DETAIL OF ALL RETAINING WALLS SHALL BE SUBMITTED ALONG WITH CERTIFICATION BY THE DESIGN PROFESSIONAL THAT ALL FACTORS OF SAFETY HAVE BEEN IN ACCORDANCE WITH THE APPROVED PLANS ON FILE WITH THE TOWN.
- PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY AN "AS-BUILT" SURVEY PREPARED BY A LICENSED PROFESSIONAL LAND SURVEYOR OF THE PROPERTY SHALL BE SUBMITTED TO THE DEPARTMENT OF TECHNICAL SERVICES AND THE TOWN PLANNING BOARD ENGINEER FOR REVIEW.

TOWN OF CORTLANDT CURB CUTTING NOTES

- WHEN NECESSARY, PERMITTEE IS TO ESTABLISH A WORK ZONE, SUPPLY AND MAINTAIN APPROPRIATE SIGNS, CONES, LIGHTS & FLAG PEOPLE IN ACCORDANCE WITH SECTION 104 OF THE HIGHWAY LAW.
- ROAD CLOSURES ARE NOT ALLOWED.
- STONE CURBS ARE THE OWNER'S RESPONSIBILITY TO MAINTAIN.
- OVERNIGHT EXCAVATIONS WILL NOT BE PERMITTED.
- SIGNS, MASONRY, CONCRETE, STONE WALLS, FENCES, BUSH, PLANTINGS AND/OR TREES ARE NOT ALLOWED WITHIN THE RIGHT-OF-WAY. MASONRY/STEEL MAILBOX STRUCTURES WILL NOT BE PERMITTED. WOODEN MAILBOX POSTS ARE RECOMMENDED. A STANDARD U.S. MAILBOX SHALL BE UTILIZED.

TOWN OF CORTLANDT MINOR PROPOSAL NOTES

- THE APPLICANT SHALL BE REQUIRED TO FILL OUT AND SUBMIT AN APPLICATION FOR A BUILDING PERMIT WITH FEE.
- THE APPLICANT SHALL CONTACT THE TOWN OF CORTLANDT DEPARTMENT OF ENVIRONMENTAL SERVICES, HIGHWAY DIVISION AT 914-737-0047 AS TO THE INFORMATION REQUIRED TO ACQUIRE A UTILITY PERMIT FOR WORK WITHIN THE TOWN RIGHT OF WAY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE TOWN OF CORTLANDT WATER DEPARTMENT BUSINESS OFFICE, ENGINEERING DIVISION AND DIVISION OF CODE ENFORCEMENT A MINIMUM OF 24 HOURS PRIOR TO REQUESTING A CONSTRUCTION INSPECTION.
- ROUGH GRADING FOR THE DRIVEWAY MUST BE COMPLETED AND BEFORE WORK CAN CONTINUE, AN "AS-BUILT" SURVEY WHICH SHOWS SPOT ELEVATIONS MUST BE APPROVED BY TOWN PLANNING BOARD ENGINEER.

TOWN OF CORTLANDT WATER SERVICE NOTES

- ANY MODIFICATIONS TO THE EXISTING WATER SERVICE WILL NEED TO BE INSPECTED BY THE TOWN. THE METER AND RADIO HEAD WILL NEED TO BE REPLACED.
- A DOUBLE CHECK VALVE SHALL BE INSTALLED TO PREVENT BACKFLOW TO THE PUBLIC WATER SUPPLY IN ACCORDANCE WITH NYS UNIFORM FIRE PREVENTION AND BUILDING CODE.

SEPTIC SYSTEM NOTES

- THE TOWN OF CORTLANDT IS REMINDING ALL RESIDENTS THAT IT IS GOOD PRACTICE AND RECOMMENDED TO HAVE YOUR SUBSURFACE SANITARY SYSTEM VISUALLY INSPECTED AND PUMPED ONCE EVERY FIVE YEARS OR MORE FREQUENTLY AS RECOMMENDED BY A LICENSED SANITARY HAULER OR ENGINEER.
- THE TOWN IS REQUESTING THAT PROPERTY OWNERS UPLOAD PROOF OF INSPECTION AND CLEAN-OUT TO PERMIT APPLICATIONS. ACCEPTABLE PROOF MAY BE IN THE FORM OF A RECEIPT, WASTE TRANSPORTER LOG, OR SIMILAR DOCUMENT.
- IF YOU HAVE NOT HAD YOUR SEPTIC SYSTEM INSPECTED WITHIN THE LAST FIVE-YEARS, WE ENCOURAGE YOU TO DO SO IMMEDIATELY. IF YOU CANNOT FIND A RECORD, WE ASK THAT YOU MAKE EFFORT TO CONTACT YOUR SEPTIC CONTRACTOR FOR A COPY.

STONE WALL NOTES

- RECENTLY CONSTRUCTED AND/OR MODIFIED STONE WALLS ARE SHOWN APPROXIMATE BASED ON A FIELD INSPECTION BY THIS OFFICE ON SEPTEMBER 23, 2024. WALL HEIGHTS VARY BUT ALL WALLS SHALL BE LESS THAN 3'-0" FOLLOWING FINAL CONSTRUCTION AND GRADING.

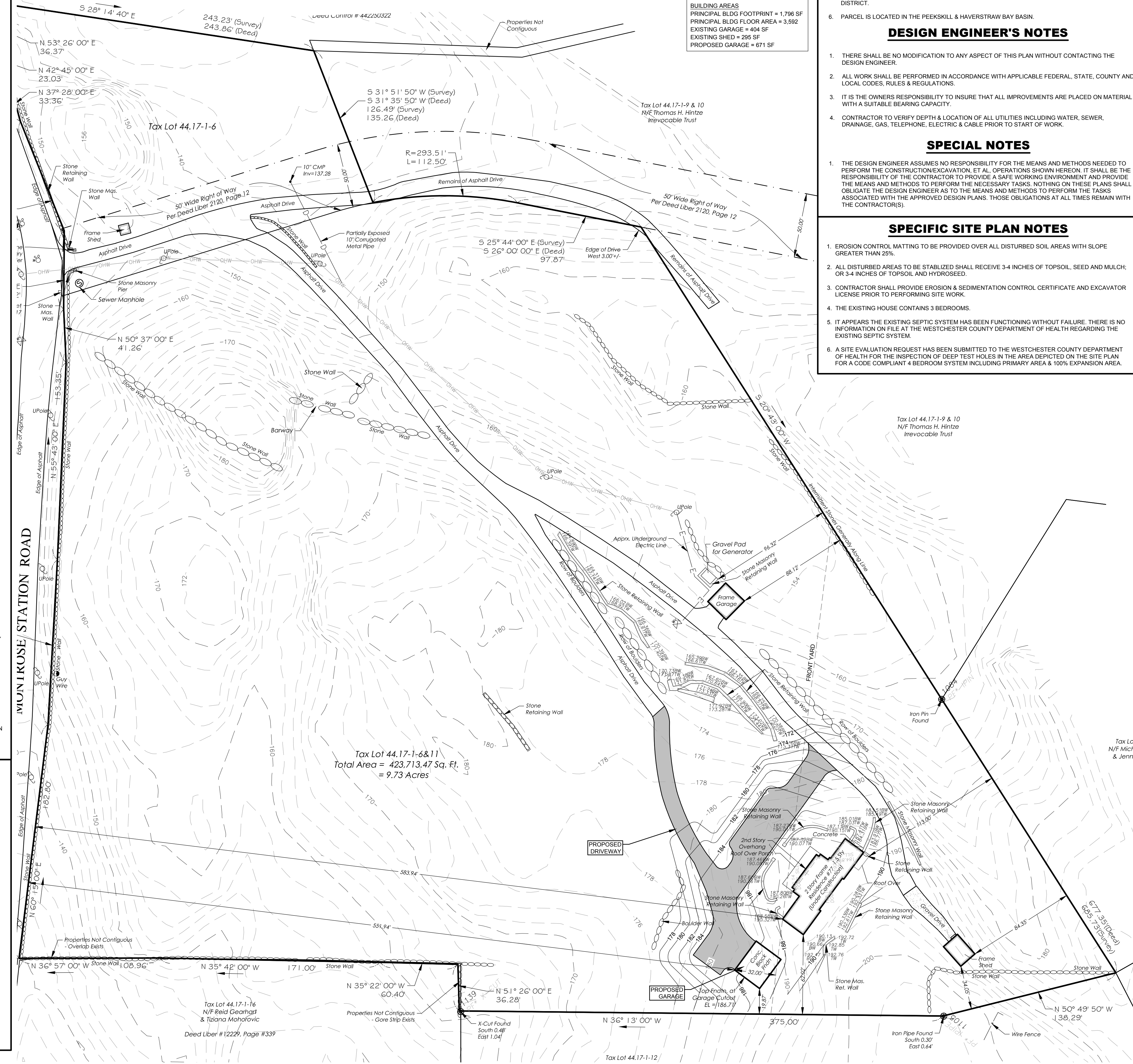
EROSION AND SEDIMENT CONTROL NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVEL IN ALL SEDIMENT TRAPS SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED OR AS ORDERED BY THE ENGINEER. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED WEEKLY, PRIOR TO EXPECTED RAIN EVENTS, AND AFTER EACH HEAVY RAIN TO INSURE PROPER OPERATION AS DESIGNED. AN INSPECTION SCHEDULE SHALL BE SET FORTH PRIOR TO THE START OF CONSTRUCTION.
- THE LOCATIONS AND THE INSTALLATION TIMES OF THE SEDIMENT CAPTURING STANDARDS SHALL BE AS ORDERED BY THE ENGINEER, AND IN ACCORDANCE WITH ACCEPTED STANDARDS.
- ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE OR FILL AREA. ALL TOPSOIL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE LIMED, FERTILIZED, TEMPORARILY SEEDDED AND MULCHED WITHIN 14 DAYS.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 21 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LIMED AND FERTILIZED PRIOR TO TEMPORARY SEEDING.
- ALL DISTURBED AREAS WITHIN 500 FEET OF AN INHABITED DWELLING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL.
- THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT AREA CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
- SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED BY PERMANENT MEASURES.
- SOIL SEEDING AND FERTILIZER AMENDMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL".
- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL".

ZONING DATA CHART - R-80 (SINGLE FAMILY RESIDENTIAL)

LOT DESCRIPTION	MINIMUM LOT AREA (SF)	MINIMUM LOT WIDTH (FT)	MAXIMUM HEIGHT	MINIMUM FRONT YARD (FT)	MINIMUM SIDE YARD (FT)	MINIMUM REAR YARD (FT)	MAXIMUM BUILDING COVERAGE	MINIMUM LANDSCAPE COVERAGE (%)	MAXIMUM FLOOR AREA (SF)	ACCESSORY STRUCTURES				
										MAXIMUM BUILDING FLOOR AREA	MAX. HEIGHT (FT)	FRONT YARD	MIN. REAR YARD (FT)	
REQUIRED	80,000	200	2-1/2 STORIES / 35'	50	30	30	65% OF FAR (26,465 SF)	70%	40,716	50% FLOOR AREA OF PRINCIPAL BLDG (1,796 SF)	10' FLOOR TO EA VEELINE 7' ABOVE EA VEELINE	NOT PERMITTED	6	6
PROPOSED	423,713	662	2 STORIES / <35'	583.94	113.00	62.02	8.6%	95%	3,592	39.5% (1370 SF)	21'	*SEE NOTE 1	84.35	19.87

*VARIANCE REQUIRED
 1. PROPOSED GARAGE IS 32' OVER FRONT YARD LINE, SET BACK 552' FROM PROPERTY LINE. VARIANCE REQUIRED EXISTING GARAGE IS 88' OVER FRONT YARD LINE AND IS PRE-EXISTING NON-CONFORMING



GENERAL NOTES

- PARCEL TAX MAP DESIGNATION: SECTION: 44.17, BLOCK: 1, LOT(S): 6 & 11
- TOTAL AREA OF EXISTING LOT 6: 44,529 (1.02 ACRES); LOT 11: 381,881 Sq. FT. (8.77 ACRES).
- SURVEY INFORMATION SHOWN HEREON IS BASED ON A SURVEY PREPARED BY TC MERRITTS LAND SURVEYORS, ENTITLED "PRELIMINARY MAP PREPARED FOR STEVE GIORDANO BUILDERS, INC." DATED JULY 12, 2024, LAST UPDATED DECEMBER 6, 2024.
- TOPOGRAPHY SHOWN HEREON IS BASED ON DATA DOWNLOADED FROM THE WESTCHESTER COUNTY GIS WEBSITE.
- PARCEL IS LOCATED IN THE TOWN OF CORTLANDT R-80 (SINGLE-FAMILY RESIDENTIAL) ZONING DISTRICT.
- PARCEL IS LOCATED IN THE PEEKSKILL & HAVERSTRAW BAY BASIN.

DESIGN ENGINEER'S NOTES

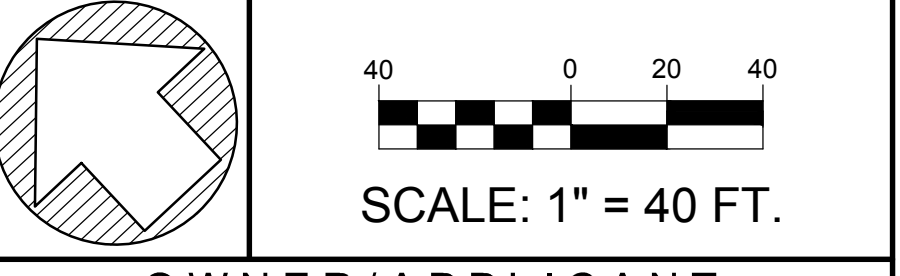
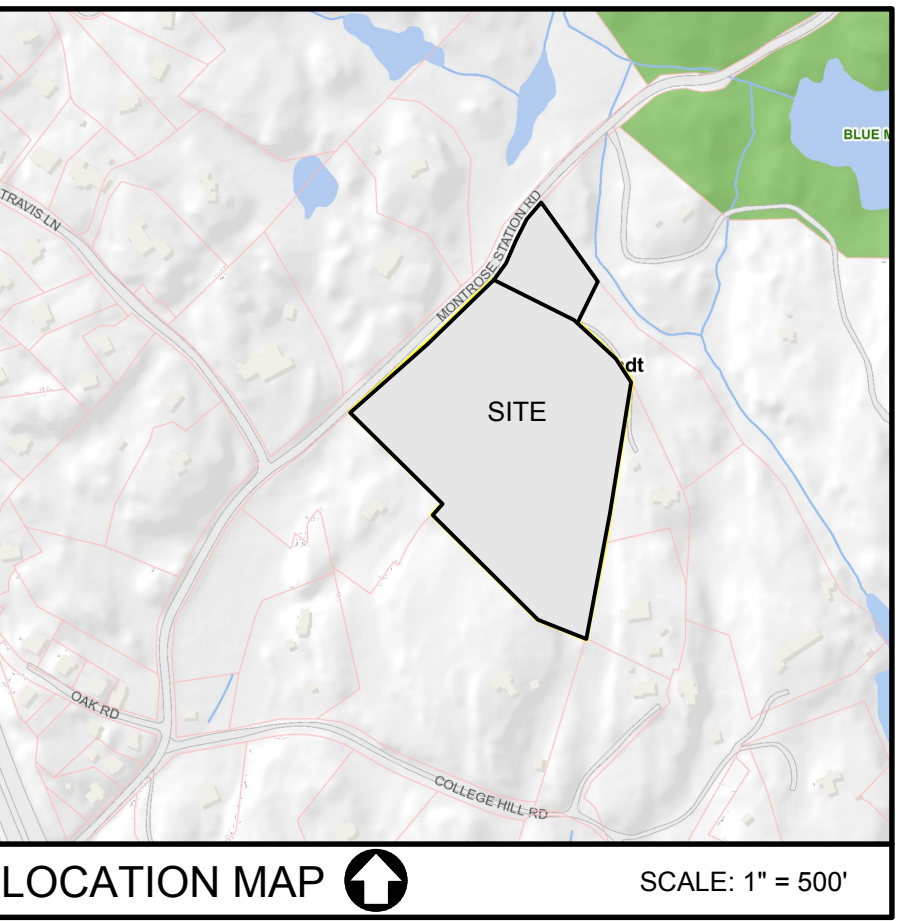
- THERE SHALL BE NO MODIFICATION TO ANY ASPECT OF THIS PLAN WITHOUT CONTACTING THE DESIGN ENGINEER.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL CODES, RULES & REGULATIONS.
- IT IS THE OWNERS RESPONSIBILITY TO INSURE THAT ALL IMPROVEMENTS ARE PLACED ON MATERIAL WITH A SUITABLE BEARING CAPACITY.
- CONTRACTOR TO VERIFY DEPTH & LOCATION OF ALL UTILITIES INCLUDING WATER, SEWER, DRAINAGE, GAS, TELEPHONE, ELECTRIC & CABLE PRIOR TO START OF WORK.

SPECIAL NOTES

- THE DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR THE MEANS AND METHODS NEEDED TO PERFORM THE CONSTRUCTION/EXCAVATION, ET AL. OPERATIONS SHOWN HEREON. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE A SAFE WORKING ENVIRONMENT AND PROVIDE THE MEANS AND METHODS TO PERFORM THE NECESSARY TASKS. NOTHING ON THESE PLANS SHALL OBLIGATE THE DESIGN ENGINEER AS TO THE MEANS AND METHODS TO PERFORM THE TASKS ASSOCIATED WITH THE APPROVED DESIGN PLANS. THOSE OBLIGATIONS AT ALL TIMES REMAIN WITH THE CONTRACTOR(S).

SPECIFIC SITE PLAN NOTES

- EROSION CONTROL MATTING TO BE PROVIDED OVER ALL DISTURBED SOIL AREAS WITH SLOPE GREATER THAN 25%.
- ALL DISTURBED AREAS TO BE STABILIZED SHALL RECEIVE 3-4 INCHES OF TOPSOIL, SEED AND MULCH; OR 3-4 INCHES OF TOPSOIL AND HYDROSEED.
- CONTRACTOR SHALL PROVIDE EROSION & SEDIMENTATION CONTROL CERTIFICATE AND EXCAVATOR LICENSE PRIOR TO PERFORMING SITE WORK.
- THE EXISTING HOUSE CONTAINS 3 BEDROOMS.
- IT APPEARS THE EXISTING SEPTIC SYSTEM HAS BEEN FUNCTIONING WITHOUT FAILURE. THERE IS NO INFORMATION ON FILE AT THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH REGARDING THE EXISTING SEPTIC SYSTEM.
- A SITE EVALUATION REQUEST HAS BEEN SUBMITTED TO THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH FOR THE INSPECTION OF DEEP TEST HOLES IN THE AREA DEPICTED ON THE SITE PLAN FOR A CODE COMPLIANT 4 BEDROOM SYSTEM INCLUDING PRIMARY AREA & 100% EXPANSION AREA.



OWNER/APPLICANT

MARK GIORDANO
 44 REGINA AVENUE
 CORTLANDT MANOR, NY 10567

• UNDER NEW YORK STATE EDUCATIONAL LAW ARTICLE 145, SECTION 7209 (2), IT IS UNLAWFUL FOR ANY PERSON TO ALTER ANY ITEM ON THIS DRAWING, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF ANY ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.
 • COPYRIGHT "2025" BY CRONIN ENGINEERING, P.E., P.C. ALL RIGHTS RESERVED.

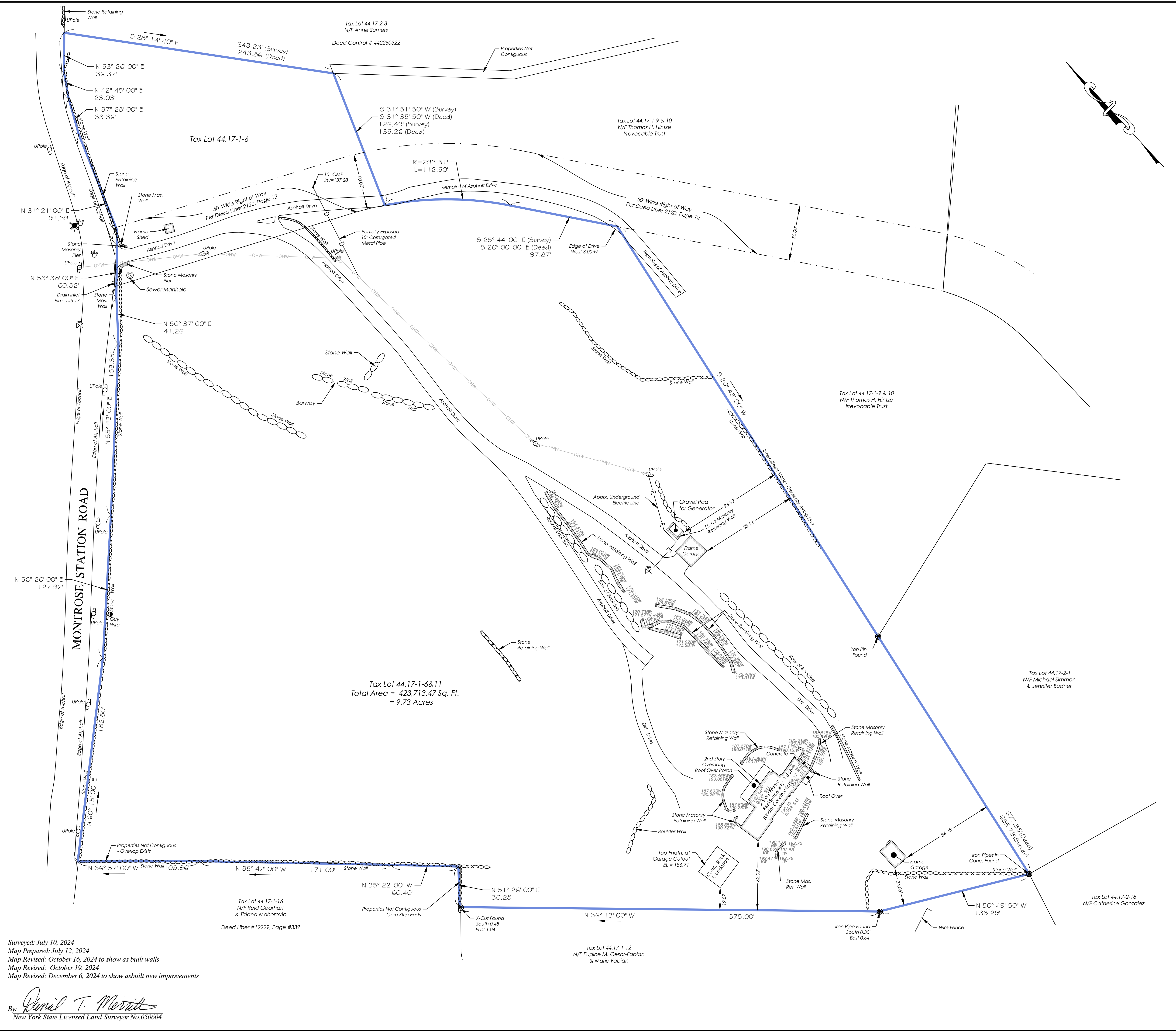
REVISIONS		
#	REASON	DATE
4	UPDATED AS-BUILT SURVEY & ZONING CHART FOR ZBA APP	02-27-2025
3	LABELLA ENGINEERING REVIEW COMMENTS	09-26-2024
2	LABELLA ENGINEERING REVIEW COMMENTS	09-25-2024
1	LABELLA ENGINEERING REVIEW COMMENTS	09-24-2024

MUNICIPAL TAX IDENTIFICATION:	
SECTION:	44.17
BLOCK:	1
LOT:	6 & 11
SUBLOT:	----
DRAWN BY:	KJW/JCA
CHECKED:	KS/PMB
PROJECT:	77 MONTROSE STATION RD
DATE:	SEPTEMBER 23, 2024
JOB #:	240601

STATE OF NEW YORK PATRICK MICHAEL BELL LICENSED PROFESSIONAL ENGINEER 087679
PATRICK M. BELL, P.E. LICENSE #087679

CRONIN ENGINEERING
 PROFESSIONAL ENGINEERING & CONSULTING
 (914) 736-3664
 39 Arlo Lane
 Cortlandt Manor, New York 10567

SITE PLAN
SITE DEVELOPMENT PLAN FOR MARK GIORDANO
 LOCATION:
 77 MONTROSE STATION ROAD
 TOWN OF CORTLANDT, NEW YORK
 SHEET 1 OF 1 **SP-1.1**



Tax Lot 44.17-1-6&11
 Total Area = 423,713.47 Sq. Ft.
 = 9.73 Acres

Only copies from the original of this survey marked with an original of the Land Surveyors embossed seal or red colored seal shall be considered to be true, valid copies.

Said certifications shall run only to the person for whom this survey is prepared and on his/her behalf to the title company, governmental agency and lending institutions listed hereon. Certifications are not transferable to additional institutions or subsequent owners.

Unauthorized alteration or addition to a survey map bearing a licensed Land Surveyors seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.

Possession only where indicated.

Adjacent property lines and easements not surveyed or certified. Access to adjacent rights of way, easements and public or private lands not guaranteed or certified.

Underground utilities shown hereon are approximate and should be verified before excavating. Additional underground utilities are not shown or certified. Encroachments and structures below grade, if any, not shown or certified.

Subject to covenants, easements, restrictions, conditions and agreements of record.

Elevations shown hereon generally in accordance with North American Vertical Datum 88.

Surveyed in accordance with Deed Liber 11186, Page 287.

Premises shown hereon designated on the Town of Cortlandt Tax Maps as: Section 44.17, Block 1, Lot 6 & 11.

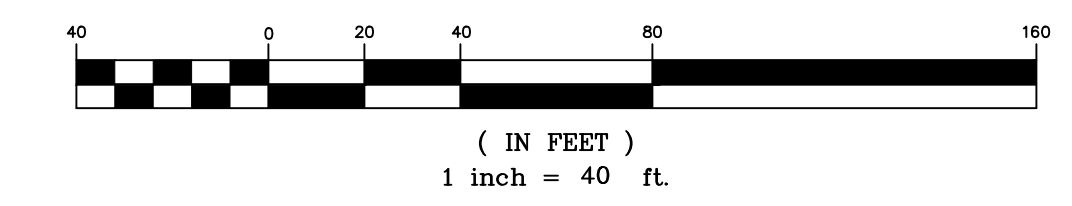
Property Address: 77 Montrose Station
 Montrose, NY 10548



THIS MAP IS FOR BUILDING DEPARTMENT PURPOSES ONLY. MAP IS NOT TO BE USED FOR TITLE TRANSFER PURPOSES. MAP MAY NOT BE CERTIFIED TO TITLE COMPANIES AND/OR BANKS.

AS BUILT SURVEY
PREPARED FOR
STEVE GIORDANO BUILDERS, INC.
 SITUATE IN THE
 TOWN OF CORTLANDT
 WESTCHESTER COUNTY, NEW YORK

SCALE: 1" = 40'

GRAPHIC SCALE



 TC MERRITTS LAND SURVEYORS 394 BEDFORD ROAD • PLEASANTVILLE • NY 10570 (914) 769-8003 • survey@tcmeritts.com		COPYRIGHT © 2024 TC MERRITTS LAND SURVEYORS ALL RIGHTS RESERVED. UNAUTHORIZED DUPLICATION OR ELECTRONIC TRANSMISSION WITHOUT PRIOR PERMISSION IS A VIOLATION OF APPLICABLE LAWS.	

Surveyed: July 10, 2024
 Map Prepared: July 12, 2024
 Map Revised: October 16, 2024 to show as built walls
 Map Revised: October 19, 2024
 Map Revised: December 6, 2024 to show as built new improvements

By: *Donal T. Merritt*
 New York State Licensed Land Surveyor No. 050604



1 Architectural Rendering (17' Garage Height)
AR-1 Scale: 3/16" = 1'-0"



2 Architectural Rendering (21' Garage Height)
AR-1 Scale: 3/16" = 1'-0"

NOTES:
IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT OR ENGINEER, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT OR ENGINEER IS ALTERED, THE ALTERING ARCHITECT OR ENGINEER SHALL AFFIX TO HIS ITEM THE SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.
DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
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SEAL
Joseph G. Thompson, RA
New York State License #036057

GIORDANO RESIDENCE GARAGE

Justin Giordano, Owner
77 Montrose Station Road
Montrose, New York 10548
S-B-L: 44-17-1-11
Town of Cortlandt - Westchester County

FOR PERMIT AND CONSTRUCTION

Date: November 1, 2024

Revisions:

▲	November 22, 2024
▲	December 13, 2024
▲	February 6, 2025
▲	
▲	



1 Architectural Rendering (17' Garage Height)
AR-1 Scale: 3/16" = 1'-0"



2 Architectural Rendering (21' Garage Height)
AR-1 Scale: 3/16" = 1'-0"

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GIORDANO RESIDENCE GARAGE

Justin Giordano, Owner
77 Montrose Station Road
Montrose, New York 10546
S-B-L: 44-17-1-11
Town of Cortlandt - Westchester County

FOR PERMIT AND CONSTRUCTION

Date: November 1, 2024

- Revisions:
- ▲ November 22, 2024
 - ▲ December 13, 2024
 - ▲ February 6, 2025

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1 East Elevation (17' Garage Height)
SK-1 Scale: 3/16" = 1'-0"



2 East Elevation (21' Garage Height)
SK-1 Scale: 3/16" = 1'-0"

GIORDANO RESIDENCE GARAGE

FOR PERMIT AND CONSTRUCTION

Justin Giordano, Owner
77 Montrose Station Road
Montrose, New York 10546
S-B-L: 44-17-1-11
Town of Cortlandt - Westchester County

Date: November 1, 2024

Revisions:

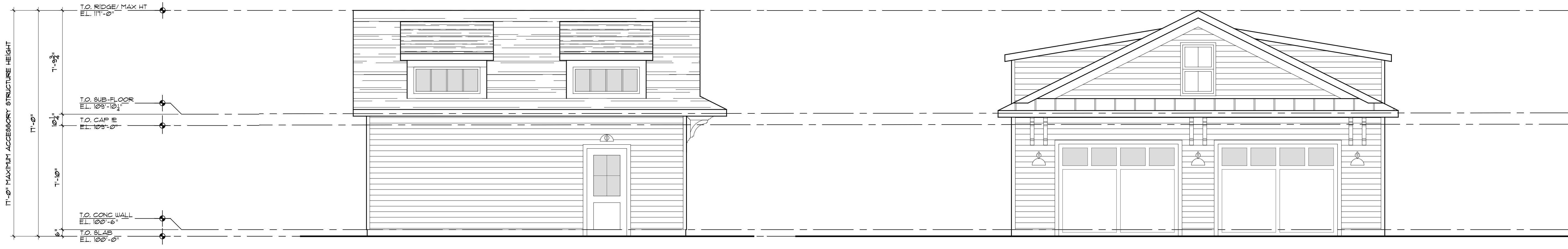
△	November 22, 2024
△	December 13, 2024
△	February 6, 2025

SK-1

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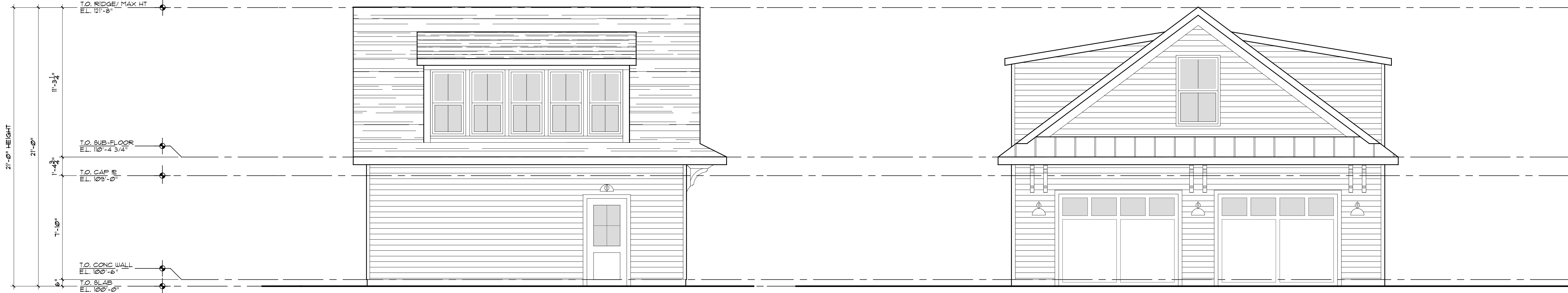


SEAL
Joseph G. Thompson, RA
New York State License #036057



1 Garage North Elevation (17' Height)
SK-2 Scale: 1/4" = 1'-0"

2 Garage East Elevation (17' Height)
SK-2 Scale: 1/4" = 1'-0"



3 Garage North Elevation (21' Height)
SK-2 Scale: 1/4" = 1'-0"

4 Garage East Elevation (21' Height)
SK-2 Scale: 1/4" = 1'-0"

GIORDANO RESIDENCE GARAGE

FOR PERMIT AND CONSTRUCTION

Justin Giordano, Owner
77 Montrose Station Road
Montrose, New York 10546
S-B-L: 44-17-1-11
Town of Cortlandt - Westchester County

Date: November 1, 2024

Revisions:

▲	November 22, 2024
▲	December 13, 2024
▲	February 6, 2025
▲	
▲	

SK-2

To: **Town of Cortlandt Zoning Board of Appeals**
Town Hall
1 Heady Street
Cortlandt Manor, New York 10567

Attn: **Chair Fleming & Zoning Board of Appeals Members**

Date: March 20, 2025

RE: **PROJECT NARRATIVE- GIORDANO RESIDENCE GARAGE HEIGHT VARIANCE**
77 Montrose Station Road, Cortlandt Manor, New York 10567
S-B-L: 44.17-1-11

Our office is pleased to present a proposal for a new garage accessory structure to be constructed at 77 Montrose Station Road. The accessory structure is planned to support the existing single-family residence on the property that is currently receiving significant restoration and renovation efforts. The property is located in a R-80 Single-Family Residential Zone.



Figure 1. Proposed Accessory Dwelling Unit Rendering

To support the new garage structure as proposed, this application is requesting consideration from the Zoning Board of Appeals for relief from the following Zoning Code Sections:

- Height- Maximum accessory structure height from top of eave to top of ridge as per Town of Cortlandt Zoning Code 307 Attachment 3 Table of Dimensional Regulations:

Permitted	Proposed	Area Variance Required
7'-0" (17' Total Height)	12'-8" (21' Total Height)	5'-8"

- Location- Accessory structures are not permitted in the front yard as per Town of Cortlandt Zoning Code 307 Attachment 3 Table of Dimensional Regulations, 207 Attachment 3.

In the review of a request for area variances, there are five factors that are typically considered as part of determining if the benefit to the applicant outweighs potential for adverse impact:

Height Variance Request

1. Whether an undesirable change will be produced in the character of the neighborhood, or if a detriment to nearby properties will occur:

We do not believe the increase in height of the structure will have an adverse impact to the neighboring properties nor the character of the neighborhood. The parcel is 9.73 Acres with significant vegetation along all property lines buffering the visual impact of the subject structure. The structure is set back over 550' from the road. Please find renderings depicting the visual difference between a zoning compliant 17' height structure and the proposed 21' height structure below for review:



Figure 2. Proposed Accessory Dwelling Unit Rendering- Permitted 17' Height



Figure 3. Proposed Accessory Dwelling Unit Rendering- Proposed 21' Height

2. Whether the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than an area variance:

The garage would allow for storage of vehicles and is seeking an increased height beyond the maximum allowed by zoning in order to provide an attic space capable to supporting needed storage space as the existing home does not have the ability to accommodate storage in either the existing attic nor basement. The existing topography on the property makes planning of another reasonably accessible accessory structure for storage purposes difficult to accomplish and would result in a greater impact to the neighboring properties to the rear.

3. Whether the requested variance is substantial:

Since the height dimension is measured to the peak of the ridge of a sloped roof, we do not believe the visual impact of the height increase to be substantial.

4. Whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district:

We do not believe the increase in height of the structure will have an adverse impact to the physical or environmental conditions of the neighboring properties nor the character of the neighborhood. The parcel is 9.73 Acres with significant vegetation along all property lines buffering the visual impact of the subject structure. The structure is set back over 550' from the road.

5. Whether the alleged difficulty was self-created:

While the action taken is self-created, the existing limitations of the primary structure and property that create the need to accommodate additional storage space are not. The existing residence is vintage construction that does not provide for a storage attic nor full basement area that newer construction would typically offer and the challenges the property topography presents limits the amount of reasonably buildable area. Sub-surface rock also limits the ability to construct basement spaces in both the original residence and any new accessory structures.

Location Variance Request

1. Whether an undesirable change will be produced in the character of the neighborhood, or if a detriment to nearby properties will occur:

We do not believe the location of the structure will have an adverse impact to the neighboring properties nor the character of the neighborhood. The parcel is 9.73 Acres with significant vegetation along all property lines buffering the visual impact of the subject structure. The structure is set behind the plane of the front façade of the

primary residence and the new structure is proposed to have a front yard setback of over 550’ from the road.

2. Whether the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than an area variance:

The challenges the property topography presents limits the amount of reasonably buildable area. The proposed location is the only reasonably suitable location to construct the garage in close proximity to the primary residence without the need for significant re-grading, rock removal and disturbance of the property.

3. Whether the requested variance is substantial:

Proposed garage is located behind the plane of the primary residence. However, based on the geometry of the property and orientation of the existing residence to the road, the proposed garage placement has a front yard setback that is less than that of the primary residence:

Existing Residence Front Yard Setback	Accessory Structure Front Yard Setback
583.94’	551’

Since the front yard setback of the structure is proposed to be over 550’, we do not believe the variance request to be substantial.

4. Whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district:

We do not believe the location of the structure will have an adverse impact to the physical or environmental conditions of the neighboring properties nor the character of the neighborhood. The parcel is 9.73 Acres with significant vegetation along all property lines buffering the visual impact of the subject structure. The structure is set behind the plane of the front façade of the primary residence and the new structure is proposed to have a front yard setback of over 550’ from the road.

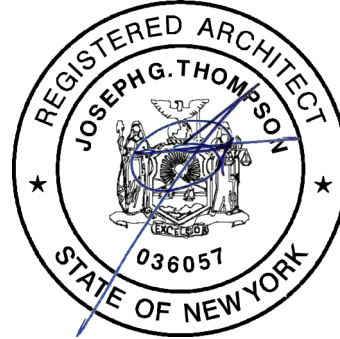
5. Whether the alleged difficulty was self-created:

While the action taken is self-created, the existing limitations property are not. The challenges the property topography presents limits the amount of reasonably buildable area. The proposed location is the only reasonably suitable location to construct the garage in close proximity to the primary residence without the need for significant re-grading, rock removal and disturbance of the property.

We respectfully request that the board consider these variance requests as we believe the benefit to the applicant outweighs any potential for adverse effect. We look forward to further reviewing this application with the Board. Please contact me should you have any questions or should any further information be required.

Respectfully Submitted,

Joseph G. Thompson, RA, M. Arch, NCARB, LEED AP, CSBA, CDT
NYS Registered Architect



Attachments:

1. Photographs of current existing conditions taken March 19, 2025 (2 Images)



Figure 4. Photograph of Current Existing Conditions taken on March 19, 2025



Figure 5. Photograph of Current Existing Conditions taken on March 19, 2025